DOMINO'S PIZZA

FARMINGTON, ARKANSAS

SITE CONSTRUCTION PLANS

GENERAL NOTES TO CONTRACTOR

- RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE UTILITIES WHICH CONFLICT WITH THE
- 2. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
- EXISTING GRADE CONTOURS ARE AT ONE FOOT INTERVALS.
- 4. PROPOSED CONTOURS ARE AT FINISH GRADE AND ARE AT ONE FOOT INTERVALS.
- 5. PROPOSED SPOT ELEVATIONS ARE TOP OF FINISH CURB UNLESS OTHERWISE INDICATED OR SHOWN.
- 6. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE STORMWATER POLLUTION PREVENTION PLAN.
- 8. CONTRACTOR TO INSTALL EROSION CONTROL FENCING PRIOR TO BEGINNING ANY CONSTRUCTION, FENCING SHALL BE MAINTAINED & REPAIRED AS NECESSARY BY THE CONTRACTOR DURING CONSTRUCTION.
- 9. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- 10. CONTRACTOR SHALL ADJUST AND/OR NEATLY CUT EXISTING PAVEMENT TO ASSURE A SMOOTH FIT AND TRANSITION
- 11. ALL CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3500 PSI.
- 12. DAMAGE DURING CONSTRUCTION TO ANY EXISTING STRUCTURES TO REMAIN SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE.
- 13. THE CONSTRUCTION AND INSTALLATION OF WATER AND SANITARY SEWER UTILITIES SHALL BE IN COMPLIANCE WITH THE CITY OF FARMINGTON'S WATER AND SEWER SPECIFICATIONS, PROCEDURES AND DETAILS.
- 14. ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH THE CITY OF FARMINGTON'S REQUIREMENTS. IN THE CASE OF CONFLICTS, THE CITY'S CRITERIA
- 15. ALL SIDEWALKS AND HANDICAP RAMPS SHALL BE BUILT TO THE CURRENT STANDARDS OF THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS.

PROJECT LOCATION

BASIS OF BEARING: GPS OBSERVATION - AR NORTH ZONE NAD83(2011) HORIZONTAL DATUM



ON-SITE NETWORK GPS OBSERVATION NAVD88 VERTICAL DATUM

SURVEY DESCRIPTION:

A PART OF THE WEST HALF OF SECTION 27, TOWNSHIP 16 NORTH, RANGE 31 WEST, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 27 AND RUNNING THENCE THENCE NO2°03'19"E 163.78', THENCE S84°41'44"W 140.29', THENCE S59°17'18"W 114.28', THENCE S30°42'08"E 197.61', THENCE S58°29'32"W 60.01' TO A POINT ON THE NORTH RIGHT-OF-WAY OF ARKANSAS STATE HIGHWAY #62 AND THE TRUE POINT OF BEGINNING AND THENCE ALONG SAID RIGHT-OF-WAY S58°29'32"W 76.89' TO THE EASTERN LINE OF RED BIRD ESTATES, THENCE ALONG SAID EASTERN LINE N34°38'22"W 203.55', THENCE LEAVING SAID EASTERN LINE N59°17'18"E 90.86', THENCE S30°42'08"W 202.00' TO THE POINT OF BEGINNING, CONTAINING 0.39 ACRES, MORE OR LESS. SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

OWNERSHIP OF DOCUMENTS

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICES, IS THE PROPERTY OF BATES + ASSOCIATES, INC., AND IS NOT TO BE USED. IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF BATES + ASSOCIATES, INC.

SAFETY NOTICE TO CONTRACTOR

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE. INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING

THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, OR NEAR THE CONSTRUCTION SITE.



ENGINEER'S NOTICE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE DRAWINGS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE DRAWINGS AND WE ASSUME NO RESPONSIBILITY AS TO THE ACCURACY OF THEIR DEPICTED LOCATION ON THESE DRAWINGS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN, AND ALL OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE DRAWINGS BY VERIFICATION OF THEIR LOCATION IN THE FIELD PRIOR TO THE INITIATION OF THE ACTUAL PORTION OF THEIR WORK.

CONTACT INFORMATION

PLANNING MELISSA MCCARVILLE & ZONING: CITY BUSINESS MANAGER 354 WEST MAIN FARMINGTON, AR 72730 (479)267-3865

FAX:

PUBLIC DAN LEDBETTER PUBLIC WORKS DIRECTOR 354 WEST MAIN FARMINGTON, AR 72730

(479)267 - 3805

(479)267-3865

(479)267 - 3805

(479)267 - 3302

FIRE DEPT: MARK CUNNINGHAM FIRE CHIEF 372 WEST MAIN P.O. BOX 150 FARMINGTON, AR 72730 (479)267-3338 WATER & CITY OF FAYETTEVILLE TIM NYANDER, P.E. 125 W. MOUNTAIN AVE FAYETTEVILLE, AR 72701

PHONE: (479) 575-8206

SOURCE GAS 655 E. MILLSAP RD. FAYETTEVILLE, AR 72701 (800)563-0012

ELECTRIC: AEP SWEPCO NANCY GUISINGER FAYETTEVILLE DISTRICT PHONE: (479) 973-2351

> WASTE MANAGEMENT SYSTEMS 11979 ARBOR ACRES RD FAYETTEVILLE, AR 72701 PHONE: (800)443-5558

TELEPHONE: PRAIRIE GROVE TELEPHONE CO 139 MOCK ST PRAIRIE GROVE, AR 72753 (479)267 - 7200

INDEX OF DRAWINGS

COVER SHEET

EXISTING SITE + DEMO PLAN

SITE PLAN UTILITY PLAN

GRADING, DRAINAGE, +

EROSION CONTROL PLAN

LANDSCAPE PLAN

DETAILS

PARCEL NUMBERS:

PROJECT SITE ADDRESS: ARKANSAS HIGHWAY 62 & W KELLI AVE

ZONING CLASSIFICATION: C-2 HIGHWAY COMMERCIAL DELIVERY/DRIVE-THRU RESTAURANT PROPOSED USE:

OWNER/DEVELOPER: A & M PIZZA REAL ESTATE, LLC

C/O ART HURTEAU 4042 W REPUBLIC RD BATTLEFIELD, MO

PHONE: (417) 353-1726 BATES & ASSOCIATES, INC. ENGINEER/SURVEYOR:

> 7230 S. PLEASANT RIDGE DR. FAYETTEVILLE, AR 72704 PHONE: (479) 442-9350 FAX: (479) 521-9350

ZONING REGULATIONS C-2(HIGHWAY COMMERCIAL) MIN LAND AREA SQ.FT./D.U. N/A 50 FEET

STATE OF

ARKANSAS

THEN IT SHOULD BE ASSUMED THAT THIS PLAT MAY HAVE BEEN ALTERED. THE ABOVE CERTIFICATION SHALL NOT APPLY TO ANY COPY THAT DOES NOT

BEAR AN ORIGINAL SEAL AND SIGNATURE.

35 FEET

60% MAX

40 FEET MAX

50 FEET SIDE: 25 FEET

STREET SIDE SETBACKS ADJACENT TO RESIDENTIAL ZONES WILL BE 15 FEET **GREENSPACE CALCULATIONS:

VARIANCES TO BE REQUESTED

LOT FRONTAGE:

LOT COVERAGE:

HEIGHT REQUIREMENTS:

CORNER LOT:

PERIMETER BUFFER REQUIREMENTS

.) SEC. 14.04.20 LANDSCAPED SIDE & BACK

2.) SEC.14.04.21 LANDSCAPING REQUIREMENTS

IMMEDIATELY ADJACENT TO BUILDING(S) FRONT

GROSS AREA OF SITE: 72666.86 IMPERVIOUS AREA: 21492.86(30.2%) GREENSPACE: 21942.86(69.8%)

USE: DRIVE THROUGH RESTAURANT(COMMERCIAL)

1 SPACE PER 300 SQ.FT. OF FLOOR AREA

SQ.FT. FLOOR AREA: 2070 SQ.FT. CALCULATION: 2070/300=6.9(7) STANDARD PARKING REQUIRED: 7 SPACES STANDARD PARKING PROVIDED: 18 SPACES ADA SPACES REQ./PRO.: 1 SPACE

TOTAL PARKING PROVIDED: 19 SPACES

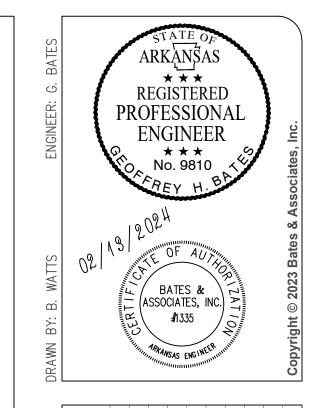
REVIEW OF THESE PLANS IS LIMITED TO GENERAL COMPLIANCE | WITH CITY CODES AND REGULATIONS AND DOES NOT WARRANT THE ENGINEER'S DESIGN OR RELIEVE THE DEVELOPER OF ANY

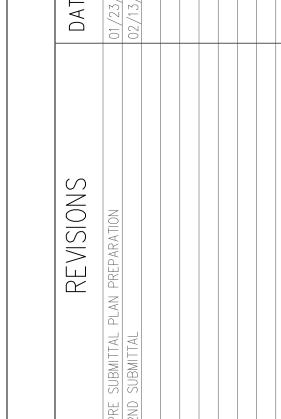
(FIRM PANEL #05143C0195F. MAY 16, 2008)

REQUIREMENTS, EVEN IF ERRORS, OMMISSIONS, OR ANY INADEQUACIES ARE DISCOVERED AFTER PLAN APPROVAL. THE CITY'S REQUIREMENTS SHALL GOVERN OVER ANY CONFLICTS WITH THE PLANS OR SPECIFICATIONS. ANY CONDITIONS DETERMINED IN THE FIELD WHICH REQUIRE CHANGES SHALL BE SUBJECT TO FURTHER REVIEW AND CORRECTIVE ACTION.

FLOOD CERTIFICATION: NO PORTION OF THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE "A" OR "AE" AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR WASHINGTON COUNTY,

GENERAL SURVEY NOTE THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.





SCAL

AR

DOMINO

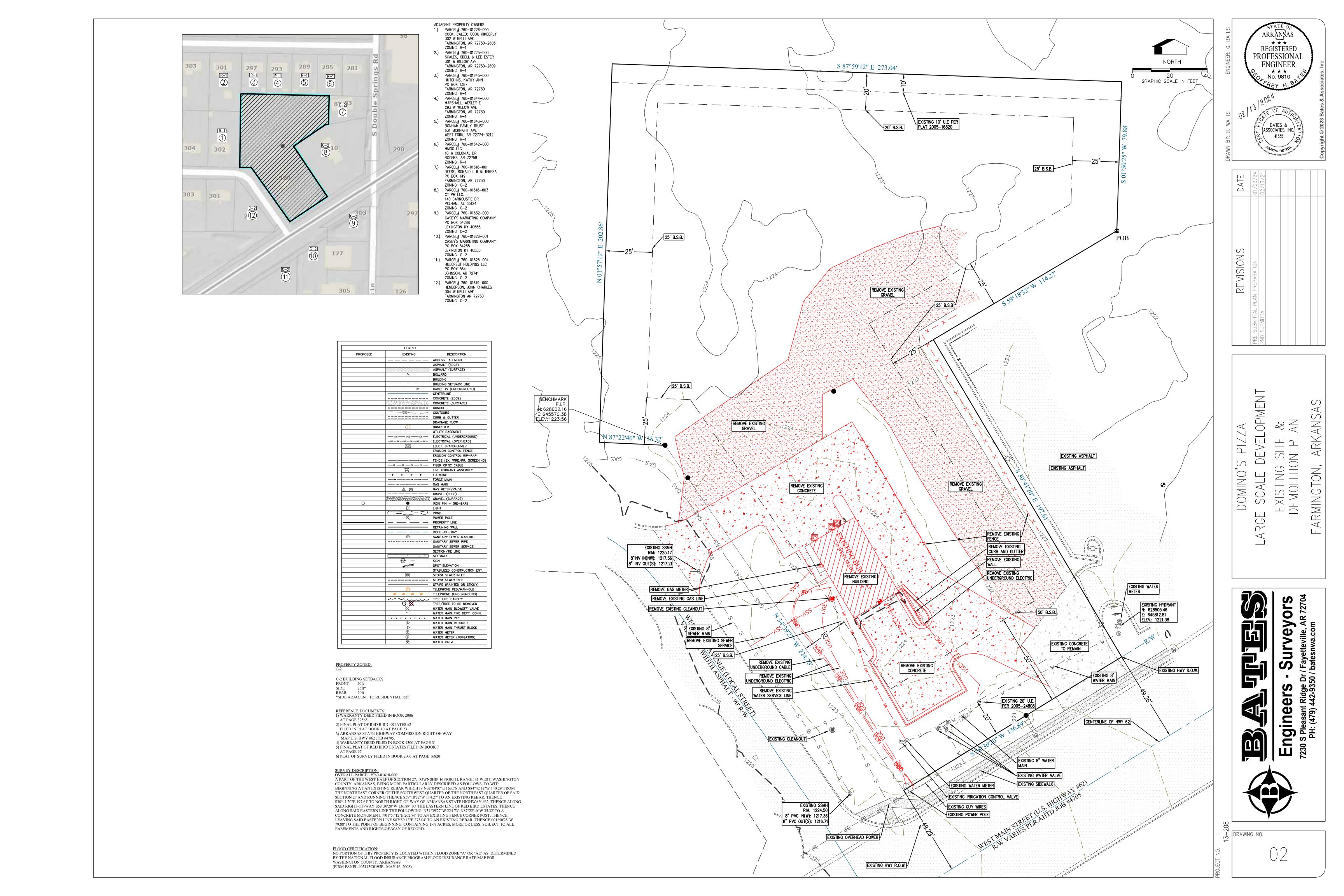
0

ر **ي** ڇ <u>ټ</u>











ADJACENT PROPERTY OWNERS

1.) PARCEL# 760-01226-000
COOK, CALEB; COOK KIMBERLY
302 W KELLI AVE
FARMINGTON, AR 72730-2603
ZONING: R-1

- ZONING: R-1

 2.) PARCEL# 760-01225-000
 SCALES, ODELL & LEE ESTER
 301 W WILLOW AVE
 FARMINGTON, AR 72730-2609
 ZONING: R-1
- 3.) PARCEL# 760-01645-000 HUTCHINS, KATHY ANN PO BOX 1387 FARMINGTON, AR 72730 ZONING: R-1
- A.) PARCEL# 760-01644-000
 MARSHALL, WESLEY E
 293 W WILLOW AVE
 FARMINGTON, AR 72730
 ZONING: R-1
 5.) PARCEL# 760-01643-000
- .) PARCEL# 760-01643-000 BONHAM FAMILY TRUST 631 MCKNIGHT AVE WEST FORK, AR 72774-3212 ZONING: R-1
- 6.) PARCEL# 760-01642-000 MMOG LLC 10 W COLONIAL DR ROGERS, AR 72758
- ZONING: R-1
 7.) PARCEL# 760-01618-001
 DEESE, RONALD L II & TERESA
 PO BOX 149
 FARMINGTON, AR 72730
- ZONING: C-2

 8.) PARCEL# 760-01618-003
 CT PM LLC.
 140 CARNOUSTIE DR
 PELHAM, AL 35124
- ZONING: C-2
 9.) PARCEL# 760-01632-000
 CASEY'S MARKETING COMPANY
 PO BOX 54288
 LEXINGTON KY 40555
- ZONING: C-2

 10.) PARCEL# 760-01626-001

 CASEY'S MARKETING COMPANY
 PO BOX 54288

 LEXINGTON KY 40555
- ZONING: C-2

 11.) PARCEL# 760-01626-004
 HILLCREST HOLDINGS LLC
 PO BOX 564
 JOHNSON, AR 72741
 ZONING: C-2
- 12.) PARCEL# 760-01619-000
 HENDERSON, JOHN CHARLES
 304 W KELLI AVE
 FARMINGTON AR 72730
 ZONING: C-2

ZONING	REGULATIONS	C-2(HIGHWAY	COMMERCIAL)	
		•	<i>,</i>	

MIN LAND SQ.FT.

MIN LAND AREA SQ.FT./D.U.

LOT FRONTAGE:

CORNER LOT:

LOT COVERAGE:

HEIGHT REQUIREMENTS:

N/A

N/A

50 FEET

60% MAX

FRONT: 50 FEET
SIDE: 25 FEET
REAR: 20 FEET
**STREET SIDE SETBACKS ADJACENT
TO RESIDENTIAL ZONES WILL BE 15 FEET

GREENSPACE CALCULATIONS:

GROSS AREA OF SITE: 72666.86 IMPERVIOUS AREA: 21492.86(30.2%) GREENSPACE: 21942.86(69.8%)

PARKING CALCULATIONS:
USE: DRIVE THROUGH RESTAURANT(COMMERCIAL)

1 SPACE PER 300 SQ.FT. OF FLOOR AREA

SQ.FT. FLOOR AREA: 2070 SQ.FT.
CALCULATION: 2070/300=6.9(7)
STANDARD PARKING REQUIRED: 7 SPACES
STANDARD PARKING PROVIDED: 18 SPACES
ADA SPACES REQ./PRO.: 1 SPACE

TOTAL PARKING PROVIDED: 19 SPACES

ENGINEERING NOTES:

ordinances and criteria.

as-built survey performed.

o The review by the Engineering Division was for general compliance and does not warrant your design and does not relieve the owner from any items discovered during construction or further review, which are deemed necessary to comply with City

o The approval of the Engineering items on the plans for water, sewer, drainage, and grading is not a guarantee of approval of this project by other City divisions.

o The engineer of record shall provide "Full Time" inspection for utilities and "Part Time" inspection for the storm drainage and roadway construction for this project. The engineer of record shall also review and approve material submittals (approved submittals shall be submitted to the City for concurrence before material is ordered) — weekly inspection reports should be submitted to the City of Fayetteville's public works inspector.

o All materials and construction shall comply with the City of Fayetteville's requirements. In the case of conflicts, the City's criteria shall govern.

o The public works inspector shall be notified no less than 48 hours prior to the installation of public utilities, infrastructure, roadway, etc. Testing shall be coordinated with the PWI by the Engineer of Record.

o A copy of the approval letter from ADH shall be presented prior to installation of public utilities.

Prior to obtaining obtaining water service, the following items must be performed or provided to the satisfaction of the Engineering Department:

o The work shown on the civil site package must be complete and the items on the final purply list completed.

final punch list completed.

o Vegetation must be established and perimeter controls removed.

o One (1) set of as—built drawings of the complete project (excluding details) as a hard copy and in Tiff or PDF format;

o Public infrastructure and services shall be surveyed after installation in relation to easements, property lines, and rights—of—way.
o Professional surveyor shall provide stamp drawings specifically identifying the limits of

o More than 2 ft deviation of design alignment shall require new easement dedication or adjustment of the utility/storm drain.

o Unit price construction costs and a single 2 year maintenance bonds in the amount

of 25% of the public improvements have been provided to the city; o Certification that the, water, and sewer lines, etc., were installed per approved plans and City of Fayetteville requirements.

PROPOSED	EXISTING	DESCRIPTION
—— AE ——— AE ——		ACCESS EASEMENT
,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		ASPHALT (EDGE)
		ASPHALT (SURFACE)
0	0	BOLLARD
		BUILDING
		BUILDING SETBACK LINE
		CABLE TV (UNDERGROUND)
		CENTERLINE
		CONCRETE (EDGE)
		CONCRETE (SURFACE)
		CONDUIT
		CONTOURS
		CURB & GUTTER
		DRAINAGE FLOW
(T)	<i>(</i> 1)	DUMPSTER
UE UE		UTILITY EASEMENT
		ELECTRICAL (UNDERGROUND)
		ELECTRICAL (OVERHEAD)
		ELECT. TRANSFORMER
		EROSION CONTROL FENCE
######################################		EROSION CONTROL RIP-RAP
		FENCE (EX. WIRE/PR. SCREENING)
		FIBER OPTIC CABLE
		FIRE HYDRANT ASSEMBLY
~ ~		FLOWLINE
		FORCE MAIN
		GAS MAIN
& 1 S Y1	<u>A</u> 🖄	GAS METER/VALVE
		GRAVEL (EDGE)
000750407549000550		GRAVEL (SURFACE)
0	A STATE OF THE STA	IRON PIN - (RE-BAR)
*	-0-	` '
*	*	LIGHT POND
*	*	LIGHT
*		LIGHT POND
*		LIGHT POND POWER POLE PROPERTY LINE
*		LIGHT POND POWER POLE PROPERTY LINE RETAINING WALL
**		LIGHT POND POWER POLE PROPERTY LINE
*		LIGHT POND POWER POLE PROPERTY LINE RETAINING WALL RIGHT-OF-WAY
* •		LIGHT POND POWER POLE PROPERTY LINE RETAINING WALL RIGHT-OF-WAY SANITARY SEWER MANHOLE SANITARY SEWER PIPE
*		LIGHT POND POWER POLE PROPERTY LINE RETAINING WALL RIGHT-OF-WAY SANITARY SEWER MANHOLE
*		LIGHT POND POWER POLE PROPERTY LINE RETAINING WALL RIGHT-OF-WAY SANITARY SEWER MANHOLE SANITARY SEWER PIPE SANITARY SEWER SERVICE
** So	(\$TOP)	LIGHT POND POWER POLE PROPERTY LINE RETAINING WALL RIGHT—OF—WAY SANITARY SEWER MANHOLE SANITARY SEWER PIPE SANITARY SEWER SERVICE SECTION/TIE LINE
** S	(\$TOP)	LIGHT POND POWER POLE PROPERTY LINE RETAINING WALL RIGHT—OF—WAY SANITARY SEWER MANHOLE SANITARY SEWER PIPE SANITARY SEWER SERVICE SECTION/TIE LINE SIDEWALK
\$\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\		LIGHT POND POWER POLE PROPERTY LINE RETAINING WALL RIGHT—OF—WAY SANITARY SEWER MANHOLE SANITARY SEWER PIPE SANITARY SEWER SERVICE SECTION/TIE LINE SIDEWALK SIGN
** S	(\$TOP)	LIGHT POND POWER POLE PROPERTY LINE RETAINING WALL RIGHT—OF—WAY SANITARY SEWER MANHOLE SANITARY SEWER PIPE SANITARY SEWER SERVICE SECTION/TIE LINE SIDEWALK SIGN SPOT ELEVATION
\$\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	\$100	LIGHT POND POWER POLE PROPERTY LINE RETAINING WALL RIGHT—OF—WAY SANITARY SEWER MANHOLE SANITARY SEWER PIPE SANITARY SEWER SERVICE SECTION/TIE LINE SIDEWALK SIGN SPOT ELEVATION STABILIZED CONSTRUCTION ENT.
\$\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	\$100	LIGHT POND POWER POLE PROPERTY LINE RETAINING WALL RIGHT—OF—WAY SANITARY SEWER MANHOLE SANITARY SEWER PIPE SANITARY SEWER SERVICE SECTION/TIE LINE SIDEWALK SIGN SPOT ELEVATION STABILIZED CONSTRUCTION ENT. STORM SEWER INLET
\$\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	\$100	LIGHT POND POWER POLE PROPERTY LINE RETAINING WALL RIGHT—OF—WAY SANITARY SEWER MANHOLE SANITARY SEWER PIPE SANITARY SEWER SERVICE SECTION/TIE LINE SIDEWALK SIGN SPOT ELEVATION STABILIZED CONSTRUCTION ENT. STORM SEWER INLET STORM SEWER PIPE
\$\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	\$100	LIGHT POND POWER POLE PROPERTY LINE RETAINING WALL RIGHT—OF—WAY SANITARY SEWER MANHOLE SANITARY SEWER PIPE SANITARY SEWER SERVICE SECTION/TIE LINE SIDEWALK SIGN SPOT ELEVATION STABILIZED CONSTRUCTION ENT. STORM SEWER INLET STORM SEWER PIPE STRIPE (PAINTED OR STICKY)
\$\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	\$100	LIGHT POND POWER POLE PROPERTY LINE RETAINING WALL RIGHT—OF—WAY SANITARY SEWER MANHOLE SANITARY SEWER PIPE SANITARY SEWER SERVICE SECTION/TIE LINE SIDEWALK SIGN SPOT ELEVATION STABILIZED CONSTRUCTION ENT. STORM SEWER INLET STORM SEWER PIPE STRIPE (PAINTED OR STICKY) TELEPHONE PED/MANHOLE
\$\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	\$100	LIGHT POND POWER POLE PROPERTY LINE RETAINING WALL RIGHT—OF—WAY SANITARY SEWER MANHOLE SANITARY SEWER PIPE SANITARY SEWER SERVICE SECTION/TIE LINE SIDEWALK SIGN SPOT ELEVATION STABILIZED CONSTRUCTION ENT. STORM SEWER INLET STORM SEWER PIPE STRIPE (PAINTED OR STICKY) TELEPHONE PED/MANHOLE TELEPHONE (UNDERGROUND) TREE LINE CANOPY
\$\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	\$100	LIGHT POND POWER POLE PROPERTY LINE RETAINING WALL RIGHT—OF—WAY SANITARY SEWER MANHOLE SANITARY SEWER PIPE SANITARY SEWER SERVICE SECTION/TIE LINE SIDEWALK SIGN SPOT ELEVATION STABILIZED CONSTRUCTION ENT. STORM SEWER PIPE STRIPE (PAINTED OR STICKY) TELEPHONE PED/MANHOLE TELEPHONE (UNDERGROUND) TREE LINE CANOPY TREE/TREE TO BE REMOVED
\$\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	\$100	LIGHT POND POWER POLE PROPERTY LINE RETAINING WALL RIGHT—OF—WAY SANITARY SEWER MANHOLE SANITARY SEWER PIPE SANITARY SEWER SERVICE SECTION/TIE LINE SIDEWALK SIGN SPOT ELEVATION STABILIZED CONSTRUCTION ENT. STORM SEWER PIPE STRIPE (PAINTED OR STICKY) TELEPHONE PED/MANHOLE TELEPHONE (UNDERGROUND) TREE LINE CANOPY TREE/TREE TO BE REMOVED WATER MAIN BLOWOFF VALVE
★ ⑤ SS II II III 	\$100	LIGHT POND POWER POLE PROPERTY LINE RETAINING WALL RIGHT—OF—WAY SANITARY SEWER MANHOLE SANITARY SEWER PIPE SANITARY SEWER SERVICE SECTION/TIE LINE SIDEWALK SIGN SPOT ELEVATION STABILIZED CONSTRUCTION ENT. STORM SEWER INLET STORM SEWER PIPE STRIPE (PAINTED OR STICKY) TELEPHONE (UNDERGROUND) TREE LINE CANOPY TREE/TREE TO BE REMOVED WATER MAIN BLOWOFF VALVE WATER MAIN FIRE DEPT. CONN.
\$\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	\$100	LIGHT POND POWER POLE PROPERTY LINE RETAINING WALL RIGHT—OF—WAY SANITARY SEWER MANHOLE SANITARY SEWER PIPE SANITARY SEWER SERVICE SECTION/TIE LINE SIDEWALK SIGN SPOT ELEVATION STABILIZED CONSTRUCTION ENT. STORM SEWER INLET STORM SEWER PIPE STRIPE (PAINTED OR STICKY) TELEPHONE PED/MANHOLE TELEPHONE (UNDERGOUND) TREE LINE CANOPY TREE/TREE TO BE REMOVED WATER MAIN BLOWOFF VALVE WATER MAIN FIRE DEPT. CONN.
\$\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	\$100	LIGHT POND POWER POLE PROPERTY LINE RETAINING WALL RIGHT—OF—WAY SANITARY SEWER MANHOLE SANITARY SEWER PIPE SANITARY SEWER SERVICE SECTION/TIE LINE SIDEWALK SIGN SPOT ELEVATION STABILIZED CONSTRUCTION ENT. STORM SEWER INLET STORM SEWER PIPE STRIPE (PAINTED OR STICKY) TELEPHONE PED/MANHOLE TELEPHONE (UNDERGROUND) TREE LINE CANOPY TREE/TREE TO BE REMOVED WATER MAIN FIRE DEPT. CONN. WATER MAIN FIRE DEPT. CONN. WATER MAIN PIPE
\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	\$100	LIGHT POND POWER POLE PROPERTY LINE RETAINING WALL RIGHT—OF—WAY SANITARY SEWER MANHOLE SANITARY SEWER PIPE SANITARY SEWER SERVICE SECTION/TIE LINE SIDEWALK SIGN SPOT ELEVATION STABILIZED CONSTRUCTION ENT. STORM SEWER INLET STORM SEWER PIPE STRIPE (PAINTED OR STICKY) TELEPHONE PED/MANHOLE TELEPHONE (UNDERGROUND) TREE LINE CANOPY TREE/TREE TO BE REMOVED WATER MAIN BLOWOFF VALVE WATER MAIN FIRE DEPT. CONN. WATER MAIN FIRE DECK
\$ 500	\$100	LIGHT POND POWER POLE PROPERTY LINE RETAINING WALL RIGHT—OF—WAY SANITARY SEWER MANHOLE SANITARY SEWER PIPE SANITARY SEWER SERVICE SECTION/TIE LINE SIDEWALK SIGN SPOT ELEVATION STABILIZED CONSTRUCTION ENT. STORM SEWER INLET STORM SEWER PIPE STRIPE (PAINTED OR STICKY) TELEPHONE PED/MANHOLE TELEPHONE (UNDERGROUND) TREE LINE CANOPY TREE/TREE TO BE REMOVED WATER MAIN FIRE DEPT. CONN. WATER MAIN FIRE DEPT. CONN. WATER MAIN PIPE

ADA NOTES:

 CONTACT THE CITY OF FARMINGTON AND CITY ENGINEERING CONSULTANT (MWY) AND REQUEST AN INSPECTION PRIOR TO POURING ANY SIDEWALK OR DRIVEWAY IN THE RIGHT-OF-WAY

NOTES:

1. ALL MECHANICAL AND UTILITY EQUIPMENT LOCATED ON THE WALL OR GROUND SHALL BE SCREENED WITH TALL GRASSES OR SHRUBS.

WATER VALVE

2. ALL EXISTING UTILITIES BELOW 12KV SHALL BE RELOCATED UNDERGROUND. ALL INSTALLED UTILITIES SHALL BE LOCATED UNDERGROUND.

3. ALL CONDUITS PLACED BY CONTRACTOR MUST HAVE 48" OF COVER AT FINAL GRADE AND MARKED WITH POST TO IDENTIFY THE END OF CONDUITS. THERE MUST BE A MINIMUM SEPARATION OF 12" BETWEEN CONDUITS FOR ELECTRIC AND CONDUITS FOR OTHER UTILITIES.

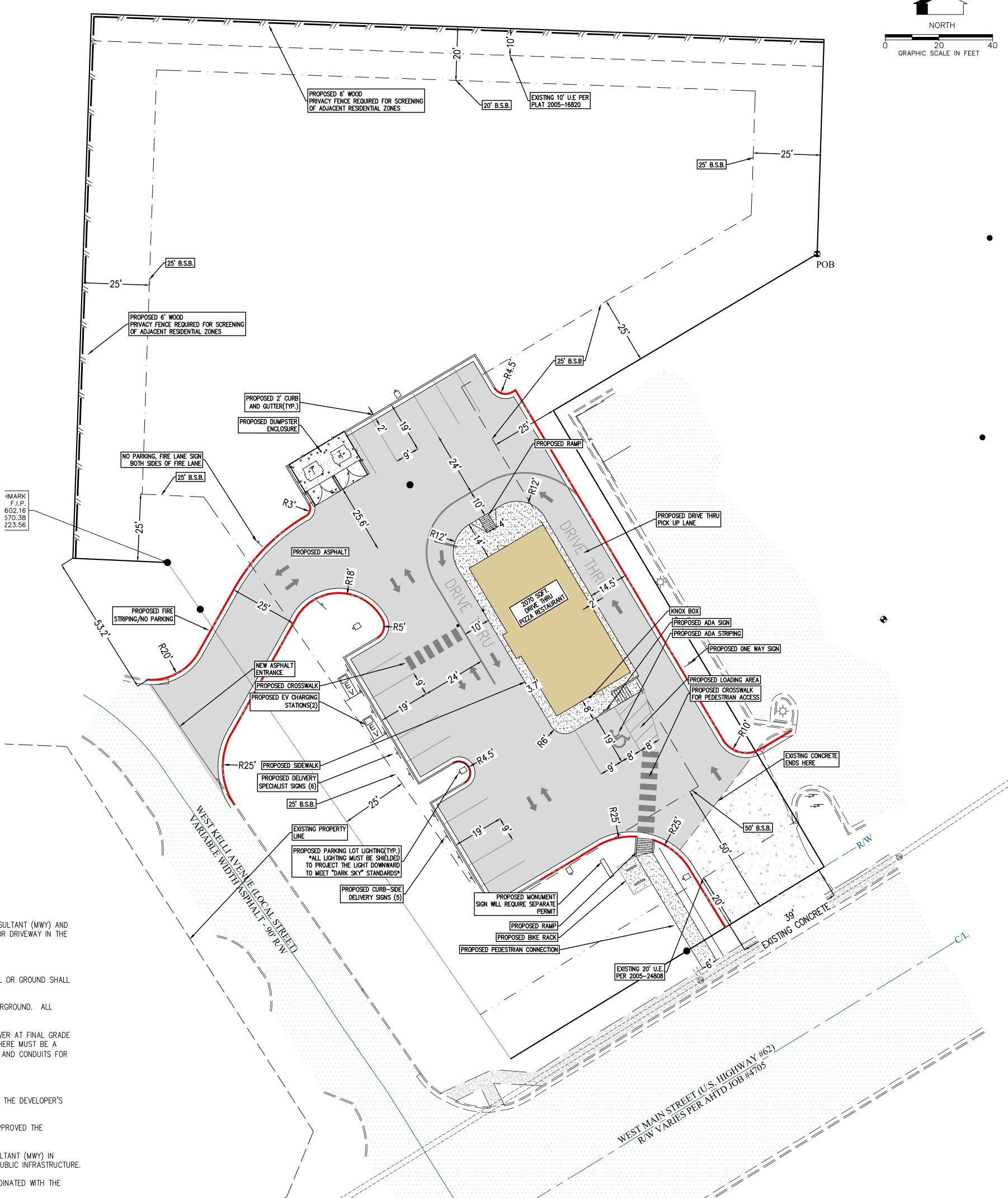
UTILITY NOTES:

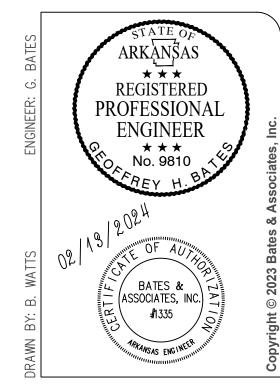
1. DAMAGE TO OR RELOCATION OF EXISTING UTILITIES SHALL BE AT THE DEVELOPER'S EXPENSE.

2. ALL METER LOCATIONS AND BACKFLOW PREVENTION MUST BE APPROVED THE FAYETTEVILLE WATER DEPARTMENT.

3. NOTIFY THE CITY OF FARMINGTON AND CITY ENGINEERING CONSULTANT (MWY) IN ADVANCE OF PERFORMING WORK IN THE RIGHT OF WAY OR PUBLIC INFRASTRUCTURE.

4. CONNECTION OF WATER AND SEWER SERVICES SHOULD BE COORDINATED WITH THE FAYETTEVILLE WATER DEPARTMENT.





PRE SUBMITTAL PLAN PREPARATION

2ND SUBMITTAL

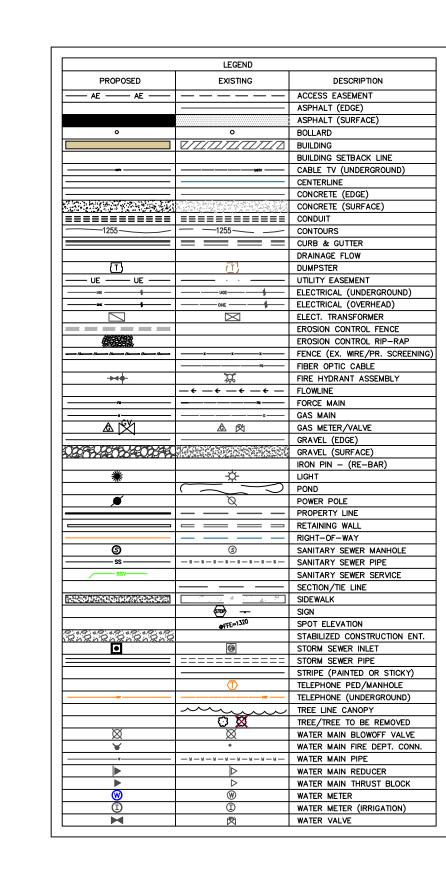
02/13/24

DOMINO'S PIZZA
LARGE SCALE DEVELOPMENT
SITE AND UTILITY PLAN

Ingineers - Surveyors
30 S Pleasant Ridge Dr / Fayetteville, AR 72704
PH: (479) 442-9350 / batesnwa.com







NOTES:

- 1. ALL MECHANICAL AND UTILITY EQUIPMENT LOCATED ON THE WALL OR GROUND SHALL BE SCREENED WITH TALL GRASSES OR SHRUBS.
- ALL EXISTING UTILITIES BELOW 12KV SHALL BE RELOCATED UNDERGROUND. ALL INSTALLED UTILITIES SHALL BE LOCATED UNDERGROUND.
- 3. ALL CONDUITS PLACED BY CONTRACTOR MUST HAVE 48" OF COVER AT FINAL GRADE AND MARKED WITH POST TO IDENTIFY THE END OF CONDUITS. THERE MUST BE A MINIMUM SEPARATION OF 12" BETWEEN CONDUITS FOR ELECTRIC AND CONDUITS FOR OTHER UTILITIES.

UTILITY NOTES:

- 1. DAMAGE TO OR RELOCATION OF EXISTING UTILITIES SHALL BE AT THE DEVELOPER'S EXPENSE.
- 2. ALL METER LOCATIONS AND BACKFLOW PREVENTION MUST BE APPROVED THE FAYETTEVILLE WATER DEPARTMENT.
- 3. NOTIFY THE CITY OF FARMINGTON AND CITY ENGINEERING CONSULTANT (MWY) IN ADVANCE OF PERFORMING WORK IN THE RIGHT OF WAY OR PUBLIC INFRASTRUCTURE.
- 4. CONNECTION OF WATER AND SEWER SERVICES SHOULD BE COORDINATED WITH THE FAYETTEVILLE WATER DEPARTMENT.

REGISTERED PROFESSIONAL ENGINEER

No. 9810

BATES & ASSOCIATES, INC.

#1335

BATES & ASSOCIATES, INC.

#1335

ASSOCIATES, INC.

ASSOCIATES

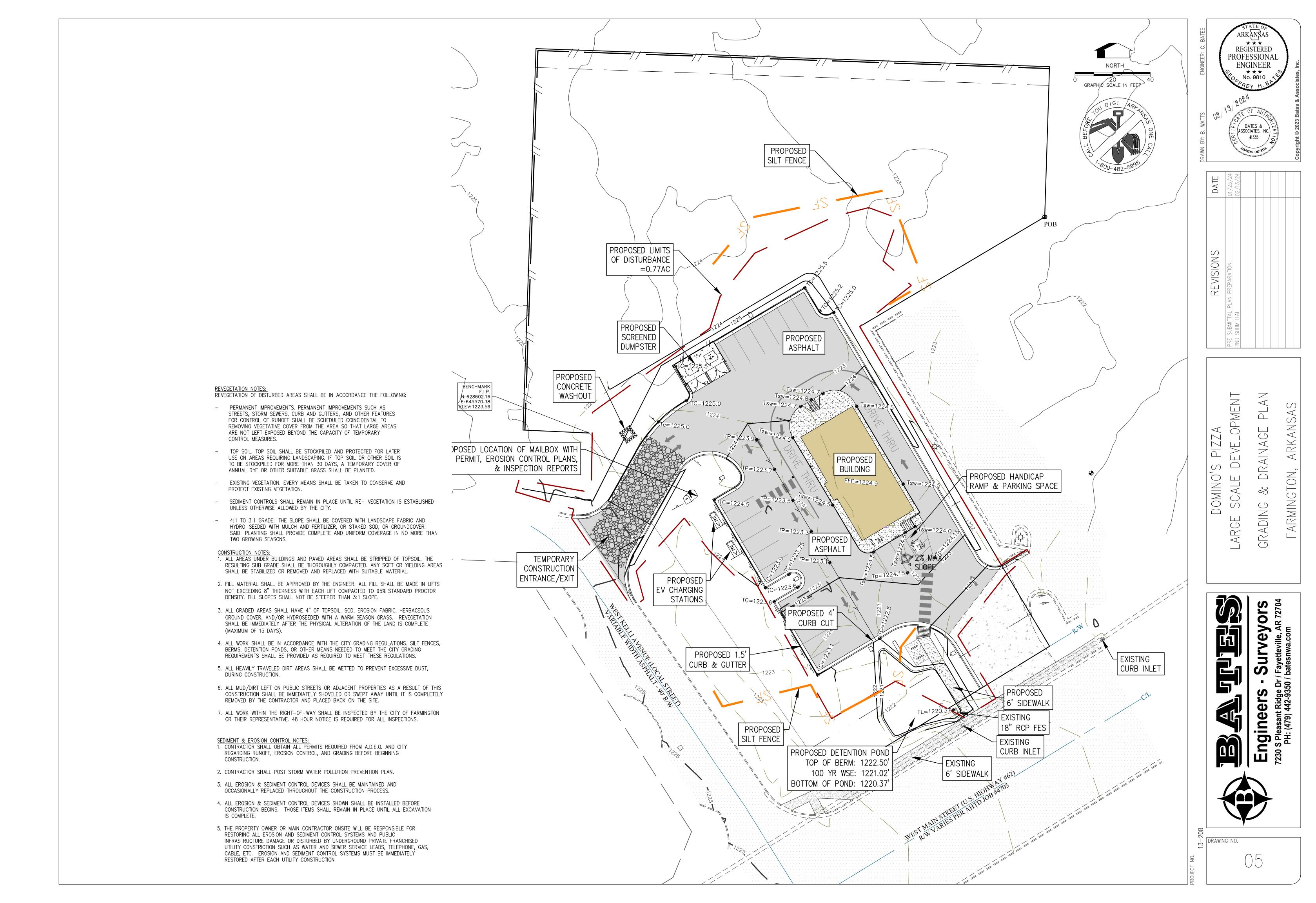
PRE SUBMITTAL PLAN PREPARATION

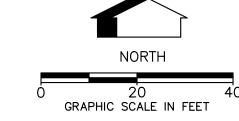
2ND SUBMITTAL

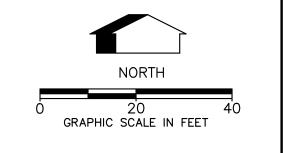
02/13/24

DOMINO'S PIZZA LARGE SCALE DEVELOPMENT

Engineers - Surveyors
7230 S Pleasant Ridge Dr / Fayetteville, AR 72704
PH: (479) 442-9350 / batesnwa.com







PLANT SCHEDULE

N 84°42'32

SYMBOL	CODE	BOTANICAL / COMMON NAME	CALIPER	ROOT	HEIGHT		QTY	
TREES	CC	Carpinus betulus 'Columnaris' / Dwarf Columnar European Hornbeam	2.5" Cal.	B&B or Cont.	8` min.		5	
	UA	Ulmus americana / American Elm	2.5" Cal.	B&B or Cont.	8` min.		2	
SHADE TREES								
	QM	Quercus muehlenbergii / Chinkapin Oak	2.5" Cal.	B&B	10` min.		7	
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER		SPACING	QTY	
SHRUBS								
	BG	Buxus x `Green Mound` / Green Mound Boxwood	2 gal.			36" o.c.	55	
SYMBOL	CODE	BOTANICAL / COMMON NAME					QTY	
SOD/SEED	СТ	Cynodon dactylon `Tif 419` / Bermuda Grass					7,740 sf	

CITY LANDSCAPE REQUIREMENTS

TOTAL SITE AREA: 85,813 SF

STREET BUFFER W. KELLI AVE.

FRONTAGE LENGTH: 6 TREES (1 PER 30 LF OF FRONTAGE)

STREET TREES REQUIRED: STREET TREES PROVIDED: SHRUBS REQUIRED:

23 SHRUBS (5 PER 30 LF OF FRONTAGE)

SHRUBS PROVIDED: 23 SHRUBS PROVIDED

W. KELLI AVE.

STREET TREES REQUIRED: 7 TREES (1 PER 35 LF OF FRONTAGE) STREET TREES PROVIDED:

SHRUBS REQUIRED: 32 SHRUBS (5 PER 35 LF OF FRONTAGE) SHRUBS PROVIDED: 32 SHRUBS PROVIDED

SIDE PERIMETER BUFFER

PERIMETER LENGTH: N/A (WAIVER FILED)

FOUNDATION PLANTINGS

N/A (WAIVER FILED)

PARKING LOT LANDSCAPING

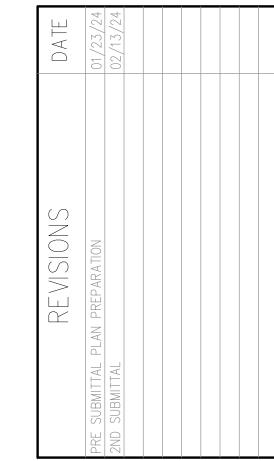
1 TREE PER LANDSCAPED ISLAND

1 TREE PROVIDED

LANDSCAPE GENRAL NOTES

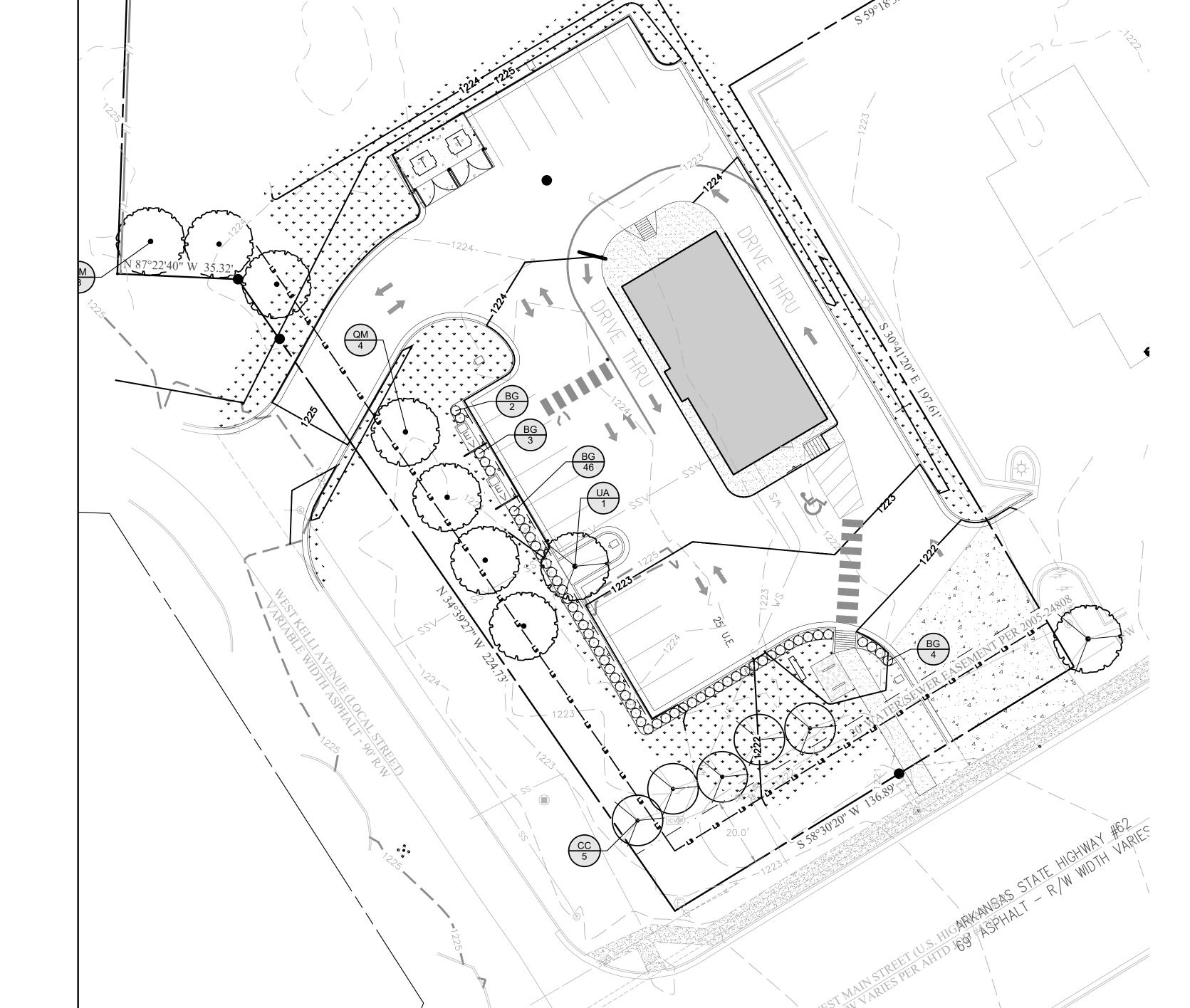
- 1. CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO STARTING ANY WORK. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING
- ARKANSAS ONE-CALL TO CONFIRM ALL UTILITIES. 2. ALL PLANTS MUST BE HEALTHY, VIGOROUS AND FREE OF PESTS AND DISEASE.
- 3. TANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- 4. ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED ON THE PLANT LIST.
- 5. ALL REQUIRED TREES SHALL BE 2" MINIMUM CALIPER, WITH A SINGLE DOMINATE CENTRAL LEADER. MULTI LEADERED TREES WILL NOT BE ACCEPTABLE WITHOUT PRIOR APPROVAL FROM URBAN FORESTRY.
- 6. ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED, UNLESS SPECIFIED OTHERWISE, AND MUST MEET ALL REQUIREMENTS SPECIFIED ON PLANS.
- 7. ALL TREES AND SHRUBS SHALL BE INSTALLED PER STANDARD CITY OF FAYETTEVILLE PLANTING DETAILS. 8. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER CONSTRUCTION.
- 9. ALL PLANTING AREAS MUST BE COMPLETELY MULCHED WITH A 4" LAYER OF ORGANIC HARDWOOD MULCH. MULCH SHALL BE NOT BE PLACED
- IMMEDIATELY ADJACENT TO TREE TRUNKS, BUT SHALL BE KEPT AT LEAST 3" FROM ROOT COLLAR AT THE SOIL LINE.
- 10. ALL PROPOSED PLANTING AREAS COVERED BY GRASS SHALL HAVE THE SOD COMPLETELY REMOVED BEFORE PLANTING BEGINS.
- 11. ALL PLANTING BEDS SHALL BE CONTAINED BY EDGING MATERIAL OTHER THAN VEGETATION. 12. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL
- UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION AT NO COST TO THE OWNER.
- 13. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK. 14. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING MATERIAL (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING,
- FERTILIZING, ETC.) IN ALL PLANTING AREAS AND LAWN AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER. 15. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF TOTAL
- ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD. 16. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM
- THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS. 17. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING. LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE CONSTRUCTION BEGINS.
- 18. ALL DISTURBED SHALL BE SODDED WITH 100% BERMUDA GRASS SOD
- 19. IRRIGATION SHALL BE EITHER AN UNDERGROUND AUTOMATIC SYSTEM OR SHALL UTILIZE HOSE BIBS EVERY 100'.
- 20. MAINTENANCE: THE CURRENT OWNER OF THE PROPERTY SHALL BE RESPONSIBLE FOR THE ONGOING MAINTENANCE OF REQUIRED LANDSCAPING.
- 21. REPLACEMENT LANDSCAPING: REQUIRED LANDSCAPING THAT DIES OR IS DAMAGED SHALL BE REMOVED AND REPLACED BY THE CURRENT OWNER OF THE PROPERTY. THE OWNER SHALL HAVE 60 DAYS FROM THE RECEIPT OF WRITTEN NOTICE ISSUED BY THE CITY TO REMOVE AND REPLACE ANY REQUIRED LANDSCAPING THAT DIES OR IS DAMAGED.





DE DOMINO' SCALE





LANDSCAPE SPECIFICATIONS

PART 1 - GENERAL

DESCRIPTION

PROVIDE TREES, SHRUBS, GROUND COVERS, SOD, AND ANNUALS/PERENNIALS AS SHOWN AND SPECIFIED ON THE LANDSCAPE PLAN. THE WORK INCLUDES:

- SOIL PREPARATION.
 TREES, SHRUBS, GROUND COVERS, AND ANNUALS/PERENNIALS.
- 3. PLANTING MIXES.
- TOP SOIL, MULCH AND PLANTING ACCESSORIES.
 MAINTENANCE.

RELATED WORK:

IRRIGATION SYSTEM; SEE IRRIGATION SPECIFICATIONS (SHEET L-2.2)

QUALITY ASSURANCE

PLANT NAMES INDICATED; COMPLY WITH "STANDARDIZED PLANT NAMES" AS ADOPTED BY THE LATEST EDITION OF THE AMERICAN JOINT COMMITTEE OF HORTICULTURAL NOMENCLATURE. NAMES OF VARIETIES NOT LISTED CONFORM GENERALLY WITH NAMES ACCEPTED BY THE NURSERY TRADE. PROVIDE STOCK TRUE TO BOTANICAL NAME AND LEGIBLY TAGGED.

COMPLY WITH SIZING AND GRADING STANDARDS OF THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK". A PLANT SHALL BE DIMENSIONED AS IT STANDS IN ITS NATURAL POSITION.

ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR A MINIMUM OF 2 YEARS.

NURSERY STOCK FURNISHED SHALL BE AT LEAST THE MINIMUM SIZE INDICATED. LARGER STOCK IS ACCEPTABLE, AT NO ADDITIONAL COST, AND PROVIDING THAT THE LARGER PLANTS WILL NOT BE CUT BACK TO SIZE INDICATED. PROVIDE PLANTS INDICATED BY TWO MEASUREMENTS SO THAT ONLY A MAXIMUM OF 25% ARE OF THE MINIMUM SIZE INDICATED AND 75% ARE OF THE MAXIMUM SIZE INDICATED.

BEFORE SUBMITTING A BID, THE CONTRACTOR SHALL HAVE INVESTIGATED THE SOURCES OF SUPPLY AND BE SATISFIED THAT THEY CAN SUPPLY THE LISTED PLANTS IN THE SIZE, VARIETY AND QUALITY AS SPECIFIED. FAILURE TO TAKE THIS PRECAUTION WILL NOT RELIEVE THE CONTRACTOR FROM THEIR RESPONSIBILITY FOR FURNISHING AND INSTALLING ALL PLANT MATERIALS IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS WITHOUT ADDITIONAL COST TO THE OWNER. THE LANDSCAPE ARCHITECT SHALL APPROVE ANY SUBSTITUTES OF PLANT MATERIAL, OR CHANGES IN PLANT MATERIAL SIZE, PRIOR TO THE LANDSCAPE CONTRACTOR SUBMITTING A BID.

DELIVER, STORAGE AND HANDLING

TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR MOVING.
WORKMANSHIP THAT FAILS TO MEET THE HIGHEST STANDARDS WILL BE REJECTED. SPRAY DECIDUOUS PLANTS IN
FOLIAGE WITH APPROVED "ANTI-DESICCANT" IMMEDIATELY AFTER DIGGING TO PREVENT DEHYDRATION. DIG, PACK,
TRANSPORT, AND HANDLE PLANTS WITH CARE TO ENSURE PROTECTION AGAINST INJURY. INSPECTION
CERTIFICATES REQUIRED BY LAW SHALL ACCOMPANY EACH SHIPMENT INVOICE OR ORDER TO STOCK. PROTECT
ALL PLANTS FROM DRYING OUT. IF PLANTS CANNOT BE PLANTED IMMEDIATELY UPON DELIVERY, PROPERLY
PROTECT THEM WITH SOIL, WET PEAT MOSS, OR IN A MANNER ACCEPTABLE TO THE LANDSCAPE ARCHITECT.
WATER HEELED-IN PLANTINGS DAILY. NO PLANT SHALL BE BOUND WITH ROPE OR WIRE IN A MANNER THAT COULD
DAMAGE OR BREAK THE BRANCHES. COVER PLANTS TRANSPORTED ON OPEN VEHICLES WITH A PROTECTIVE
COVERING TO PREVENT WIND BURN.

PROJECT CONDITI

PROTECT EXISTING UTILITIES, PAVING, AND OTHER FACILITIES FROM DAMAGE CAUSED BY LANDSCAPE OPERATIONS.

A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZES, QUANTITIES, AND OTHER REQUIREMENTS ARE SHOWN ON THE DRAWINGS. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE PLANTING PLANS SHALL GOVERN.

THE IRRIGATION SYSTEM WILL BE INSTALLED PRIOR TO PLANTING. LOCATE, PROTECT AND MAINTAIN THE IRRIGATION SYSTEM DURING PLANTING OPERATIONS. REPAIR IRRIGATION SYSTEM COMPONENTS DAMAGED DURING PLANTING OPERATIONS; AT THE CONTRACTOR'S EXPENSE. REFER TO THE IRRIGATION SPECIFICATIONS, IRRIGATION PLAN AND IRRIGATION DETAILS.

DO NOT BEGIN LANDSCAPE ACCESSORY WORK BEFORE COMPLETION OF FINAL GRADING OR SURFACING.

WARRANTY

WARRANT PLANT MATERIAL TO REMAIN ALIVE, BE HEALTHY AND IN A VIGOROUS CONDITION FOR A PERIOD OF 1 YEAR AFTER COMPLETION AND FINAL ACCEPTANCE OF ENTIRE PROJECT.

REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE DEAD OR, ARE IN AN UNHEALTHY, OR UNSIGHTLY CONDITION, AND HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES, OR OTHER CAUSES DUE TO THE CONTRACTOR'S NEGLIGENCE. THE COST OF SUCH REPLACEMENT(S) IS AT THE CONTRACTOR'S EXPENSE. WARRANT ALL REPLACEMENT PLANTS FOR 1 YEAR AFTER INSTALLATION.

WARRANTY SHALL NOT INCLUDE DAMAGE, LOSS OF TREES, PLANTS, OR GROUND COVERS CAUSED BY FIRES, FLOODS, FREEZING RAINS, LIGHTNING STORMS, WINDS OVER 75 MILES PER HOUR, WINTER KILL CAUSED BY EXTREME COLD, SEVERE WINTER CONDITIONS NOT TYPICAL OF PLANTING AREA, AND/OR ACTS OF VANDALISM OR NEGLIGENCE ON A PART OF THE OWNER.

REMOVE AND IMMEDIATELY REPLACE ALL PLANTS, FOUND TO BE UNSATISFACTORY DURING THE INITIAL PLANTING

MAINTAIN AND PROTECT PLANT MATERIAL, LAWNS, AND IRRIGATION UNTIL FINAL ACCEPTANCE IS MADE.

ACCEPTANO INSPECTION

INSPECTION OF PLANTED AREAS WILL BE MADE BY THE OWNER'S REPRESENTATIVE.

1. PLANTED AREAS WILL BE ACCEPTED PROVIDED ALL REQUIREMENTS, INCLUDING MAINTENANCE, HAVE BEEN COMPLIED WITH AND PLANT MATERIALS ARE ALIVE AND IN A HEALTHY, VIGOROUS CONDITION.

UPON ACCEPTANCE, THE CONTRACTOR SHALL COMMENCE THE SPECIFIED PLANT MAINTENANCE.

CODES, PERMITS AND FEES

OBTAIN ANY NECESSARY PERMITS FOR THIS SECTION OF WORK AND PAY ANY FEES REQUIRED FOR PERMITS.

THE ENTIRE INSTALLATION SHALL FULLY COMPLY WITH ALL LOCAL AND STATE LAWS AND ORDINANCES, AND WITH ALL ESTABLISHED CODES APPLICABLE THERETO; ALSO AS DEPICTED ON THE LANDSCAPE AND IRRIGATION CONSTRUCTION SET.

PART 2 - PRODUCTS

MATERIALS

PLANTS: PROVIDE TYPICAL OF THEIR SPECIES OR VARIETY; WITH NORMAL, DENSELY DEVELOPED BRANCHES AND VIGOROUS, FIBROUS ROOT SYSTEMS. PROVIDE ONLY SOUND, HEALTHY, VIGOROUS PLANTS FREE FROM DEFECTS, DISFIGURING KNOTS, SUN SCALD INJURIES, FROST CRACKS, ABRASIONS OF THE BARK, PLANT DISEASES, INSECT EGGS, BORERS, AND ALL FORMS OF INFESTATION. ALL PLANTS SHALL HAVE A FULLY DEVELOPED FORM WITHOUT VOIDS AND OPEN SPACES. PLANTS HELD ON STORAGE WILL BE REJECTED IF THEY SHOW SIGNS OF GROWTH DURING THE STORAGE PERIOD.

- BALLED AND PLANTS WRAPPED WITH BURLAP, TO HAVE FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF THE PLANT. PROVIDE BALL SIZES COMPLYING WITH THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK". CRACKED OR MUSHROOMED BALLS, OR SIGNS OF CIRCLING ROOTS ARE NOT ACCEPTABLE.
- 2. CONTAINER- GROWN STOCK: GROWN IN A CONTAINER FOR SUFFICIENT LENGTH OF TIME FOR THE ROOT SYSTEM TO HAVE DEVELOPED TO HOLD ITS SOIL TOGETHER, FIRM AND WHOLE.

 a. NO PLANTS SHALL BE LOOSE IN THE CONTAINER.
- a. NO PLANTS SHALL BE LOOSE IN THE CONTAINER.b. CONTAINER STOCK SHALL NOT BE POT BOUND.

3. PLANTS PLANTED IN ROWS SHALL BE MATCHED IN FORM.

- PLANTS LARGER THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED WHEN ACCEPTABLE TO THE LANDSCAPE ARCHITECT.
- a. IF THE USE OF LARGER PLANTS IS ACCEPTABLE, INCREASE THE SPREAD OF ROOTS OR ROOT BALL IN PROPORTION TO THE SIZE OF THE PLANT.
 5. THE HEIGHT OF THE TREES, MEASURED FROM THE CROWN OF THE ROOTS TO THE TOP OF THE TOP
- BRANCH, SHALL NOT BE LESS THAN THE MINIMUM SIZE DESIGNATED IN THE PLANT LIST.
- NO PRUNING WOUNDS SHALL BE PRESENT WITH A DIAMETER OF MORE THAN 1" AND SUCH WOUNDS MUST SHOW VIGOROUS BARK ON ALL EDGES.
- EVERGREEN TREES SHALL BE BRANCHED TO THE GROUND OR AS SPECIFIED IN PLANT LIST.
 SHRUBS AND SMALL PLANTS SHALL MEET THE REQUIREMENTS FOR SPREAD AND HEIGHT INDICATED IN THE
- PLANT LIST.

 2. THE MEASUREMENTS FOR HEIGHT SHALL BE TAKEN FROM THE GROUND LEVEL TO THE HEIGHT OF
- a. THE MEASUREMENTS FOR HEIGHT SHALL BE TAKEN FROM THE GROUND LEVEL TO THE HEIGHT OF THE TOP OF THE PLANT AND NOT THE LONGEST BRANCH.
- b. SINGLE STEMMED OR THIN PLANTS WILL NOT BE ACCEPTED.
- c. SIDE BRANCHES SHALL BE GENEROUS, WELL-TWIGGED, AND THE PLANT AS A WHOLE WELL-BUSHED TO THE GROUND.
- d. PLANTS SHALL BE IN A MOIST, VIGOROUS CONDITION, FREE FROM DEAD WOOD, BRUISES, OR OTHER ROOT OR BRANCH INJURIES.

ACCESSORIES

TOPSOIL: SHALL BE FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMY CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL, OBTAINED FROM A WELL-DRAINED ARABLE SITE, REASONABLY FREE FROM CLAY, LUMPS, COARSE SANDS, STONES, ROOTS, STICKS, AND OTHER FOREIGN MATERIALS, WITH ACIDITY RANGE OF BETWEEN PH

NOTE: ALL PLANTING AREAS SHALL BE CLEANED OF CONSTRUCTION DEBRIS (IE. CONCRETE, RUBBLE, STONES, BUILDING MATERIAL, ETC.) PRIOR TO ADDING AND SPREADING OF THE TOP SOIL.

- SOD AREAS: SPREAD A MINIMUM 4" LAYER OF TOP SOIL AND RAKE SMOOTH.
- PLANTING BED AREAS: SPREAD A MINIMUM 4" LAYER OF TOP SOIL AND RAKE SMOOTH.
 LANDSCAPE ISLANDS/MEDIANS: FRACTURE/LOOSEN EXISTING SUBGRADE TO A MINIMUM 24" DEPTH. REMOVE AND REPLACE ANY SUBGRADE UNSUITABLE FOR PLANTING. ONCE SUBGRADE IS CLEAN OF DEBRIS AND LOOSENED, ADD TOPSOIL TO A MINIMUM BERM 6"-8" HEIGHT ABOVE ISLAND CURBING.

MULCH: TYPE SELECTED DEPENDENT ON REGION AND AVAILABILITY; SEE LANDSCAPE PLANS FOR TYPE OF MUCH TO BE USED. HOLD MULCH 4" FROM TREE TRUNKS AND SHRUB STEMS.

- 1. HARDWOOD: 6 MONTH OLD WELL ROTTED DOUBLE SHREDDED NATIVE HARDWOOD BARK MULCH NOT LARGER THAN 4" IN LENGTH AND 1/2" IN WIDTH, FREE OF WOOD CHIPS AND SAWDUST. INSTALL MINIMUM DEPTH OF 3"
- 2. RIVER ROCK: (COLOR) LIGHT GRAY TO BUFF TO DARK BROWN, WASHED RIVER ROCK, 1" 3" IN SIZE. INSTALL IN SHRUB BEDS TO AN EVEN DEPTH OF 3". WEED CONTROL BARRIER TO BE INSTALLED UNDER ALL ROCK MULCH AREAS. USE CAUTION DURING INSTALLATION NOT TO DAMAGE PLANT MATERIAL.

GUYING/STAKING:

1. ARBORTIE: GREEN (OR WHITE) STAKING AND GUYING MATERIAL TO BE FLAT, WOVEN, POLYPROPYLENE MATERIAL, ¾" WIDE 900 LB. BREAK STRENGTH. ARBORTIE SHALL BE FASTENED TO STAKES IN A MANNER WHICH PERMITS TREE MOVEMENT AND SUPPORTS THE TREE.

PART 3 - EXECUTION

INSPECTIO

PRIOR TO BEGINNING WORK, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUBGRADE, GENERAL SITE CONDITIONS, VERIFY ELEVATIONS, UTILITY LOCATIONS, IRRIGATION, APPROVE TOP SOIL PROVIDED BY THE GENERAL CONTRACTOR AND OBSERVE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. NOTIFY THE GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS, AND WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR.

PLANTING SHALL BE PERFORMED ONLY BY EXPERIENCED WORKMEN FAMILIAR WITH PLANTING PROCEDURES

GRADE TO HOLD ROOT BALL AT NURSERY GRADE AS SHOWN ON THE DRAWINGS.

2. REMOVE GUYING/STAKING AFTER ONE YEAR FROM PLANTING.

UNDER THE SUPERVISION OF A QUALIFIED SUPERVISOR.

LOCATE PLANTS AS INDICATED ON THE PLANS OR AS APPROVED IN THE FIELD AFTER STAKING BY THE LANDSCAPE CONTRACTOR. IF OBSTRUCTIONS ARE ENCOUNTERED THAT ARE NOT SHOWN ON THE DRAWINGS, DO NOT

PROCEED WITH PLANTING OPERATIONS UNTIL ALTERNATE PLANT LOCATIONS HAVE BEEN SELECTED AND

APPROVED BY THE LANDSCAPE ARCHITECT; SPACING OF PLANT MATERIAL SHALL BE AS SHOWN ON THE LANDSCAPE PLAN.

EXCAVATE CIRCULAR PLANT PITS WITH VERTICAL SIDES, EXCEPT FOR PLANTS SPECIFICALLY INDICATED TO BE PLANTED IN BEDS. PROVIDE SHRUB PITS AT LEAST 12" GREATER THAN THE DIAMETER OF THE ROOT SYSTEM AND

24" GREATER FOR TREES. DEPTH OF PIT SHALL ACCOMMODATE THE ROOT SYSTEM. PROVIDE UNDISTURBED SUB

INSTALLATION

SET PLANT MATERIAL IN THE PLANTING PIT TO PROPER GRADE AND ALIGNMENT. SET PLANTS UPRIGHT, PLUMB, AND FACED TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO EACH OTHER OR ADJACENT STRUCTURE. SET PLANT MATERIAL 2" - 3" ABOVE THE FINISH GRADE. NO FILLING WILL BE PERMITTED AROUND TRUNKS OR STEMS. BACKFILL THE PIT WITH TOPSOIL MIX AND EXCAVATED MATERIAL. DO NOT USE FROZEN OR MUDDY MIXTURES FOR BACKFILLING. FORM A RING OF SOIL AROUND THE EDGE OF EACH PLANTING PIT TO RETAIN WATER.

AFTER BALLED AND WRAPPED IN BURLAP PLANTS ARE SET, MUDDLE PLANTING SOIL MIXTURE AROUND BASES OF BALLS AND FILL ALL VOIDS.

1. REMOVE ALL BURLAP, ROPES, AND WIRES FROM THE TOP 1/3 OF THE ROOT BALL

MULCH TO PROVIDE A UNIFORM FINISHED SURFACE.

SPACE GROUND COVER PLANTS IN ACCORDANCE WITH INDICATED DIMENSIONS. ADJUST SPACING AS NECESSARY TO EVENLY FILL PLANTING BED WITH INDICATED QUANTITY OF PLANTS. PLANT TO WITHIN 24" OF THE TRUNKS OF TREES AND SHRUBS WITHIN PLANTING BED AND TO WITHIN 18" OF EDGE OF BED.

MULCHING:

1. MULCH TREE AND SHRUB PLANTING PITS AND SHRUB BEDS WITH REQUIRED MULCHING MATERIAL (SEE LANDSCAPE PLAN FOR MULCH TYPE); DEPTH OF MULCH AS NOTED ABOVE. HOLD MULCH BACK 4" AWAY FROM TREE TRUNKS AND SHRUB STEMS. THOROUGHLY WATER MULCHED AREAS. AFTER WATERING, RAKE

WRAPPING, GUYING, STAKING:

- (RAPPING, GUYING, STAKING:

 1. INSPECT TREES FOR INJURY TO TRUNKS, EVIDENCE OF INSECT INFESTATION, AND IMPROPER PRUNING BEFORE WRAPPING.
- WRAPPING:
 a. WRAP TRUNKS OF ALL YOUNG NEWLY PLANTED TREES KNOWN TO HAVE THIN BARK. WRAP SPIRALLY
 - b. OVERLAP ½ THE WIDTH OF THE TREE WRAP STRIP AND COVER THE TRUNK FROM THE GROUND TO THE HEIGHT OF THE SECOND BRANCH.
 - c. SECURE TREE WRAP IN PLACE WITH TWINE WOUND SPIRALLY DOWNWARD IN THE OPPOSITE
- DIRECTION, TIED AROUND THE TREE IN AT LEAST 3 PLACES IN ADDITION TO THE TOP AND BOTTOM.

 d. WRAP THE TREES IN THE FALL AND LEAVE THE WRAP IN PLACE THROUGHOUT THE WINTER AND EARLY SPRING.
- e. TREE WRAPS ARE TEMPORARY AND NO LONGER NEEDED ONCE THE TREES DEVELOP CORKY BARK.

 3. STAKING/GUYING:
- a. STAKE/GUY ALL TREES IMMEDIATELY AFTER LAWN SODDING OPERATIONS AND PRIOR TO

FROM BOTTOM TO TOP WITH SPECIFIED TREE WRAP AND SECURE IN PLACE.

- b. STAKE DECIDUOUS TREES 2" CALIPER AND LESS. STAKE EVERGREEN TREES UNDER 7'-0" TALL.
 4. STAKES ARE PLACED IN LINE WITH PREVAILING WIND DIRECTION AND DRIVEN INTO UNDISTURBED SOIL.
- 5. TIES ARE ATTACHED TO THE TREE, USUALLY AT THE LOWEST BRANCH.
- a. GUY DECIDUOUS TREES OVER 2" CALIPER. GUY EVERGREEN TREES 7'-0" TALL AND OVER.
 i. GUY WIRES TO BE ATTACHED TO THREE STAKES DRIVEN INTO UNDISTURBED SOIL, WITH ONE STAKE PLACED IN THE DIRECTION OF THE PREVAILING WIND.
- ii. TIES ARE ATTACHED TO THE TREE AS HIGH AS PRACTICAL.6. THE AXIS OF THE STAKE SHOULD BE AT 90-DEGREE ANGLE TO THE AXIS ON THE PULL OF THE GUY WIRE.
- 7. REMOVE ALL GUYING AND STAKING AFTER ONE YEAR FROM PLANTING.

1. PRUNE DECIDUOUS TREES AND EVERGREENS ONLY TO REMOVE BROKEN OR DAMAGED BRANCHES.

DURING LANDSCAPE/IRRIGATION INSTALLATION OPERATIONS, ALL AREAS SHALL BE KEPT NEAT AND CLEAN.
PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING STRUCTURES. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER TO THE OPERATORS, THE OCCUPANTS AND ANY PEDESTRIANS.

UPON COMPLETION OF INSTALLATION OPERATIONS, ALL EXCESS MATERIALS, EQUIPMENT, DEBRIS AND WASTE MATERIAL SHALL BE CLEANED UP AND REMOVED FROM THE SITE; UNLESS PROVISIONS HAVE BEEN GRANTED BY THE OWNER TO USE ON-SITE TRASH RECEPTACLES. SWEEP PARKING AND WALKS CLEAN OF DIRT AND DEBRIS. REMOVE ALL PLANT TAGS AND OTHER DEBRIS FROM LAWNS AND PLANTING AREAS.

ANY DAMAGE TO THE LANDSCAPE, THE STRUCTURE, OR THE IRRIGATION SYSTEM CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR WITHOUT CHARGE TO THE OWNER.

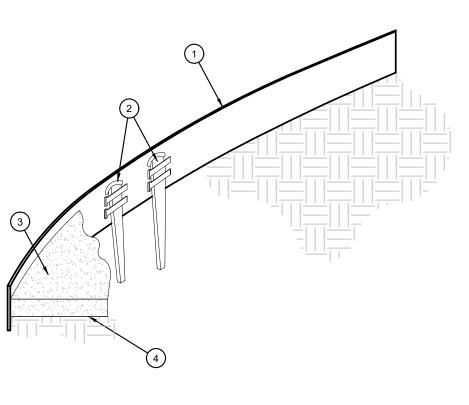
MAINTENANC

CONTRACTOR SHALL PROVIDE MAINTENANCE UNTIL WORK HAS BEEN ACCEPTED BY THE OWNER'S REPRESENTATIVE.

MAINTENANCE SHALL INCLUDE MOWING, FERTILIZING, MULCHING, PRUNING, CULTIVATION, WEEDING, WATERING, AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS AND LAWNS FREE OF INSECTS AND DISEASE.

- 1. RE-SET SETTLED PLANTS TO PROPER GRADE AND POSITION. RESTORE PLANTING SAUCER AND ADJACENT
 MATERIAL AND REMOVE DEAD MATERIAL.
- REPAIR GUY WIRES AND STAKES AS REQUIRED. REMOVE ALL STAKES AND GUY WIRES AFTER 1 YEAR.
 CORRECT DEFECTIVE WORK AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOME APPARENT AND
- WEATHER AND SEASON PERMIT.

 4. WATER TREES, PLANTS AND GROUND COVER BEDS WITHIN THE FIRST 24 HOURS OF INITIAL PLANTING, AND NOT LESS THAN TWICE PER WEEK UNTIL FINAL ACCEPTANCE.



1) ROLLED-TOP STEEL EDGING PER PLANS.

2 TAPERED STEEL STAKES.

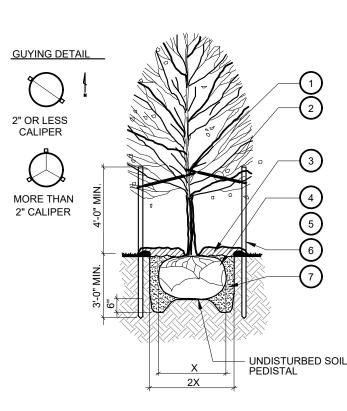
MULCH, TYPE AND DEPTH PER PLANS.

(4) FINISH GRADE.

NOTES: 1) INSTALL EDGING SO THA

INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
 BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
 TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.





DECIDUOUS TREE PLANTING LEGEND

SYMBOL DESCRIPTION

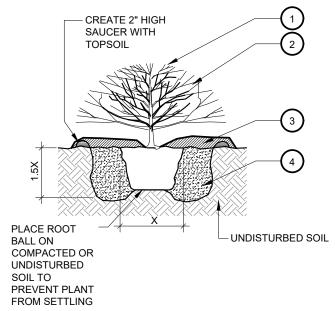
- TREE STRAP LOOP AT FIRST BRANCH. USE RUBBER HOSE OR APPROVED EQUAL TO
- PREVENT DAMAGE TO TREE
 12 GAUGE GALVANIZED WIRE & 1-1/2 PVC PIPE
- 4" ORGANIC MULCH PER SPECIFICATIONS. DO NOT PLACE MULCH AGAINST TREE TRUNCK
 REMOVE WIRE BASKET AND REMOVE BURLAP &
- ROPE FROM TOP \$\frac{1}{3}\$ OF ROOT BALL
 TREE SAUCER (FORMED BY MIN. 4" THICK MULCH)

 8' METAL TEE STAKE. KEEP STAKE PLUMB AND SECURED
- OUTSIDE OF TREE PIT.
 PREPARED BACKFILL-TAMP TO PREVENT SETTLEMENT.
 SOAK BACKFILL AFTER PLANTING.

PLANTING NOTES

- A. RETAIN NATURAL SHAPE. DO NOT SHEAR OR CUT CENTRAL LEADER. TREES WITH CENTRAL LEADERS ARE NOT ACCEPTED IF LEADER IS DAMAGED OR REMOVED.
- B. PRUNE ALL DAMAGED TWIGS AFTER PLANTING
 C. WRAP TREES TO FIRST BRANCH IF PLANTED IN FALL. DO NOT WRAP IF PLANTED IN SPRING.
- D. TREES TO BE INSTALLED SO TOP OF ROOT BALLS LEVEL
 WITH ADJACENT GRADE. TREE SHALL BEAR SAME RELATION
 TO FINISH GRADE AS MAINTAINED AT NURSERY
- E. PLACE TREE BALL ON FIRM UNDISTURBED SOIL.
- F. IF POSSIBLE MARL TREE TRUNK ON THE NORTHERN SIDE AT THE NURSERY AND PLANT TREE WITH MARK FACING NORTH
- G. TOPSOIL USED SHALL BE AS SPECIFIED IN THE LANDSCAPE SPECIFICATIONS.





SHRUB PLANTING LEGEND

- SYMBOL DESCRIPTION
 PRUNE BROKEN AND DAMAGED TWIGS AFTER
- PLANTING DO NOT PRUNE OR DAMAGE CENTRAL LEADER.

 PLACE PLANT IN VERTICAL, PLUMB POSITION. REMOVE CONTAINER AND PLANT LABEL PRIOR TO PLACING BACKFILL

 OF ALL OF MALL CLASS SPECIFIED, DO NOT PLACE.
- 3" 4" OF MULCH AS SPECIFIED. DO NOT PLACE
 MULCH DIRECTLY AGAINST STEMS.

 PREPARED BACKFILL AND FERTILIZE PER
 SPECIFICATION. TAMP AND SOAK BACKFILL AFTER
 PLANTING. MAINTAIN AFTER PLANTING PER
 SPECIFICATIONS.
- A. HOLE DIAMETER SHOULD BE AT LEAST TWICE THE DIAMETER OF THE SHRUB ROOT BALL. SHRUB CROWN SHOULD BE PLACED SLIGHTLY HIGHER (1-2") ABOVE THAN SURROUNDING FINISHED GRADE.

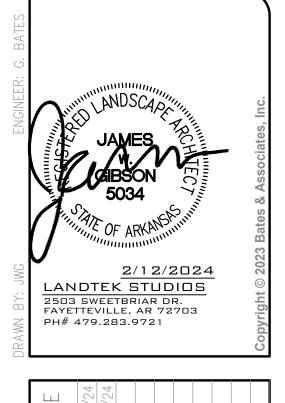
B. SCORE ROOTBALL BY CUTTING $\frac{1}{8}$ VERTICAL GROVES 3"

ENT PLANT
SETTLING

B. SPACE PLANTS PER PLANTING PLAN

CONTAINER SHRUB PLANTING DETAIL

N.T.S.



REVISIONS

O1/23

ND SUBMITTAL

DA 02/13

ARGE SCALE DEVELOPMEN LANDSCAPE DETAILS AND SPECIFICATIONS

Ы

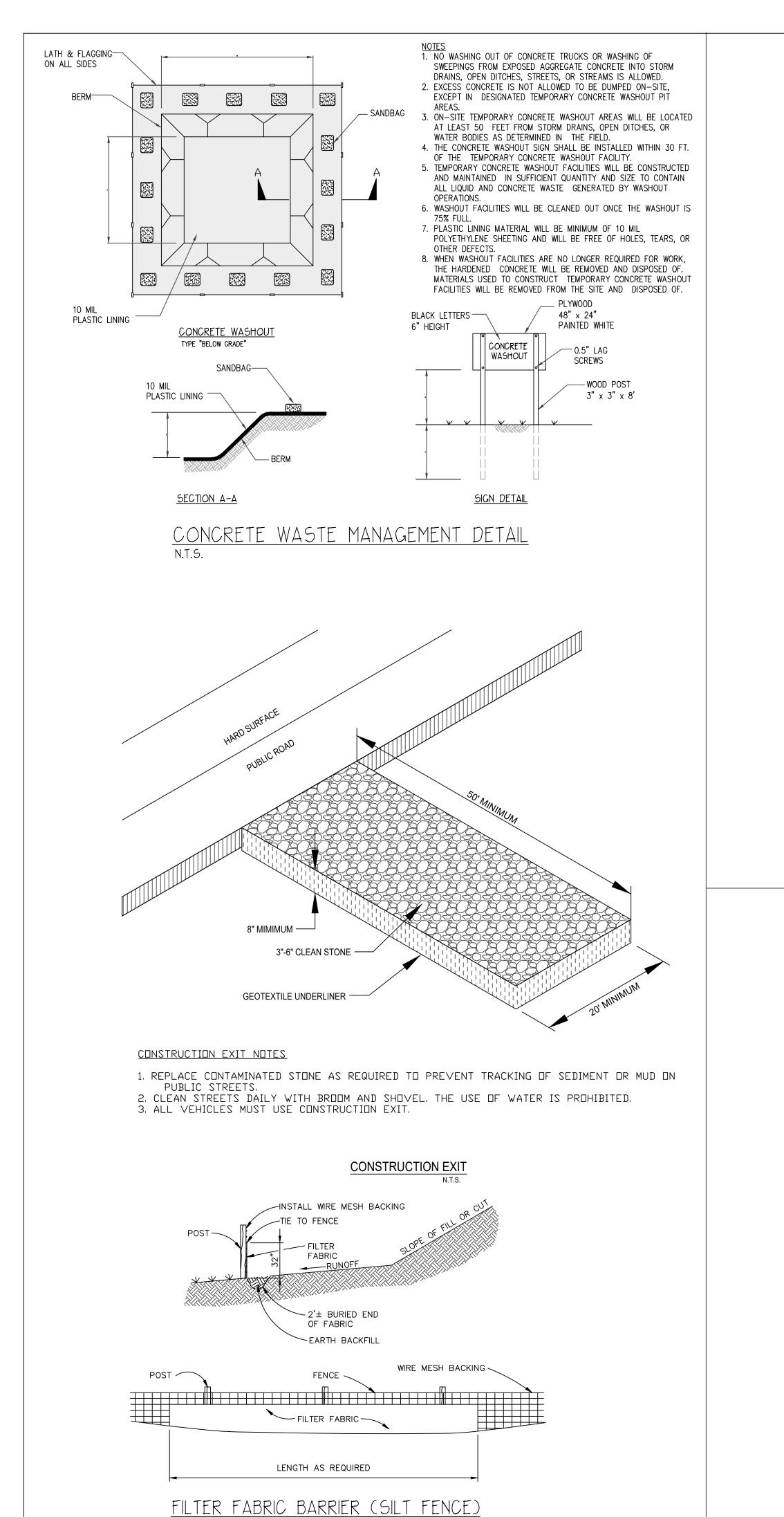
DOMINO,

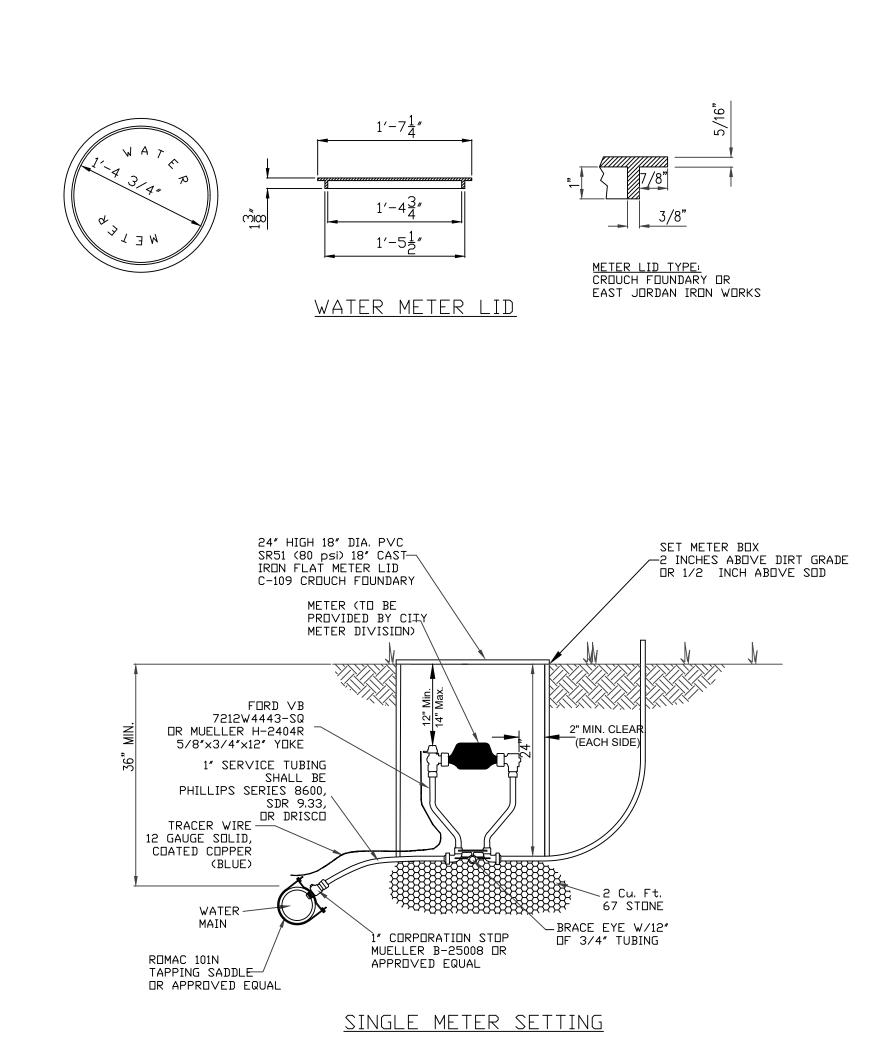
rveyors
tteville, AR 72704

Jineers - Surv

13–208

DJECT NO.





1. THE 6" GATE VALVE SHALL BE POSITIVELY RESTRAINED TO THE MAIN

FINISHED ELEVATION OF BACK OF CURB, OR SIDEWALK, WHICHEVER IS

4. EXTENSIONS SHALL BE WATEROUS K562 OR MUELLER A-320 WITH NO MORE THAN ONE EXTENSION PER HYDRANT.

5. IF SIDEWALK IS PRESENT, HYDRANT SHALL BE INSTALLED 2' MINIMUM BEHIND THE BACK OF THE SIDEWALK OR CURB. VALVES SHALL BE INSTALLED 1' MINIMUM BEHIND THE BACK OF THE SIDEWALK OR CURB.

7. 6" DUCTILE IRON PIPE IS REQUIRED FOR ALL FIRE HYDRANT LEADS

FIRE HYDRANT ASSEMBLY

STANDARD 48-INCH BURY

WATEROUS PACER WB67-250 or

MUELLER SUPER CENTURION 250

BREAKABLE FLANGE w/18" MIN.

INTERNAL BREAKABLE 24" MAX.

2'x2'x1' REINFORCED

w/ TWO LAYERS #5's

#67 GRAVEL DRAIN BED

BURY DEPTH

48-INCHES

STEM COUPLING

DOUBLE WRAP

6 CUBIC FOOT

BLOCK

4" THICK CONCRETE

LE∨ELING BL□CK

(13", 18", 24", 36" or 48" LENGTH)

SWIVEL × SOLID ADAPTER

- w/ SWIVEL GLAND

FIRE HYDRANT & VALVE CONNECTION

8. AN ADDITIONAL GUARDIAN VALVE IS REQUIRED FOR ALL FIRE

BY THE USE OF EITHER A SWIVEL TEE OR FOSTER ADAPTER.

2. FIRE HYDRANTS SHALL BE DESIGNED FOR A MINIMUM 48" BURY. 3. BURY LINE OF HYDRANT SHALL BE NO LESS THAN THE PROPOSED

6. DO NOT COVER UP WEEP HOLE WITH CONCRETE.
7. MJ RETAINER GLANDS ARE REQUIRED FOR ALL FITTINGS.

GREATER THAN 48-INCHES FROM THE MAIN VALVE.

HYDRANT LEADS GREATER THAN 30 FEET IN LENGTH.

GLASS BEADS

FACTORY APPLIED PAINT

WHITE WITH REFLECTIVE -

WORD " WATER " ON COVER -

COIL MIN. 12" OF TRACER

PR□VIDE 18" DIA. CONC. COLLAR AROUND -

ALL VALVE BOXES

EJIW 8550 SERIES or

CONTINUOUS TRACER WIRE 12 GAUGE SOLID COATED COPPER or

(BLUE JACKET) 6" ABOVE PIPE

14 GAUGE COATED COPPER CLAD STEEL

TYLER UNION 6850 -

HDPE VALVE BOX

ALIGNMENT DE∨ICE

SERIES VALVE BOX

WATER MAIN

 $MJ \times SWIVEL TEE or$

MJ × MJ TEE w/ --

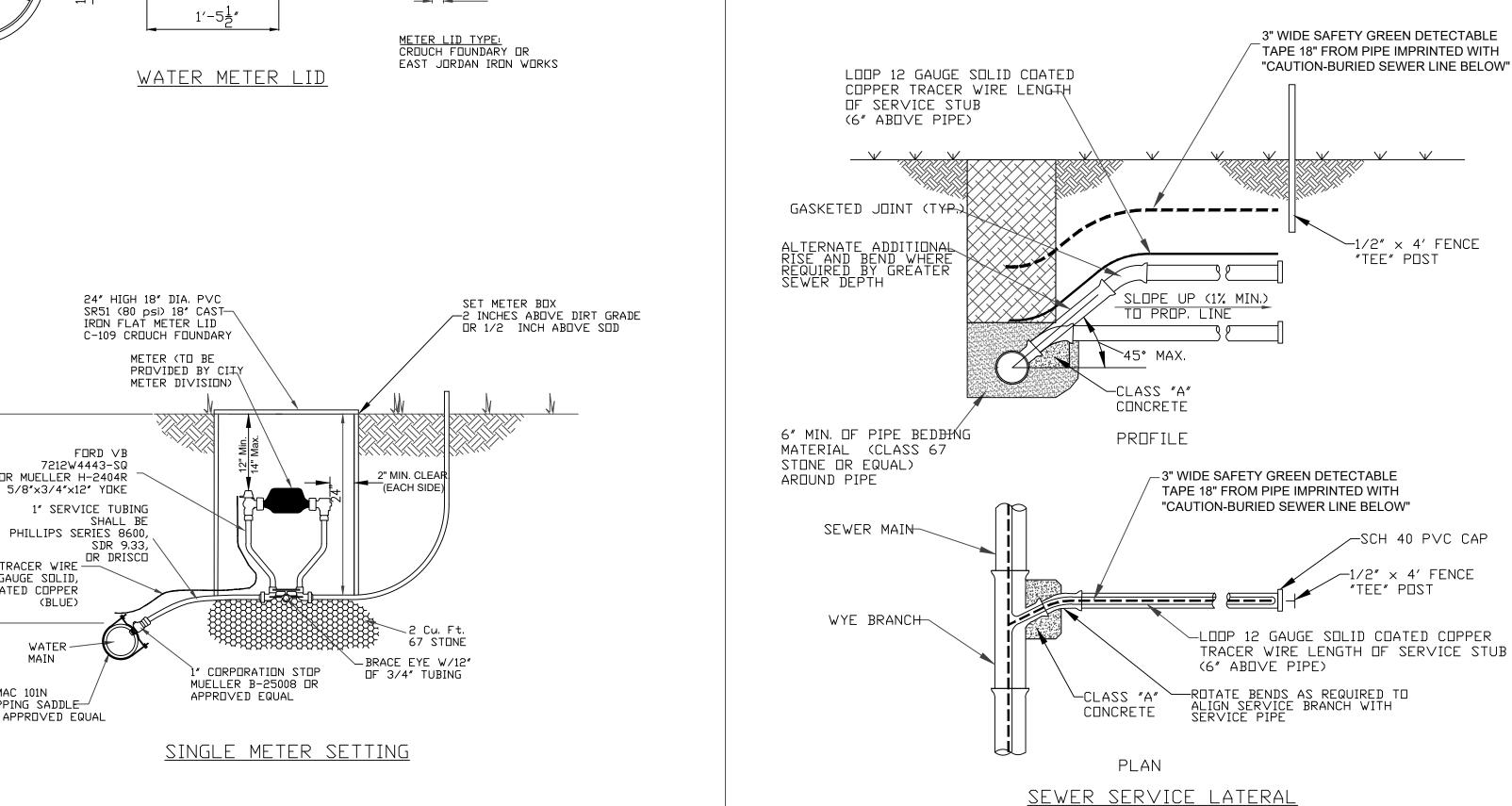
FOSTER ADAPTER

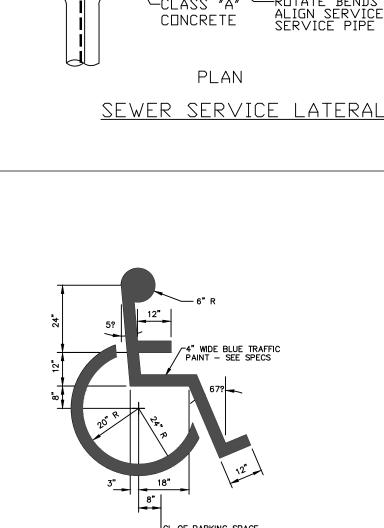
SUPPORT PIPE AND VALVE

WITH MIN. 6" CRUSHED STONE

WIRE INSIDE TOP OF BOX -

NOTES:





1. MODIFIED RISER LATERAL SHALL BE USED WHEN DEPTH OF COVER EXCEEDS 7'-0"

TWISTING UNDER EARTH LOADS.

LESS THAN 8 FEET FROM THE SANITARY SEWER MAIN.

BACKFILL TO FINISHED GRADE OF PROPERTY.

BURIED AT DEPTHS OF 14 FEET AND GREATER.

2. PLACE CLASS "A" CONCRETE UNDER EACH WYE BRANCH TO PREVENT CRACKING OR

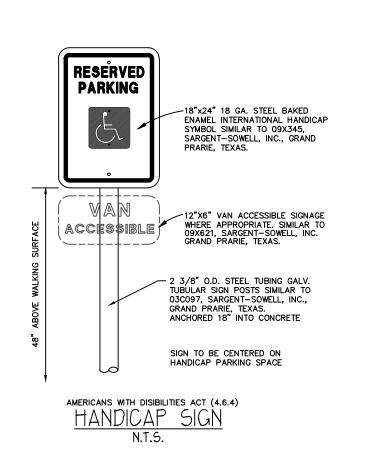
3. SERVICE LATERAL STUBS SHALL TERMINATE AT LEAST 2 FEET INSIDE THE PROPERTY

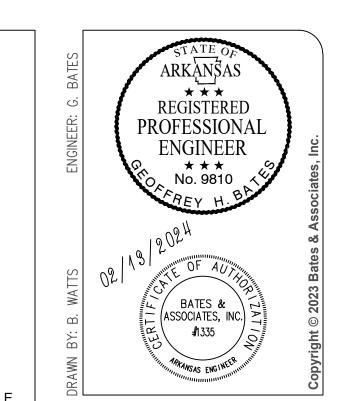
LINE BUT IN NO CASE SHALL THE SERVICE LATERAL STUB TERMINATE AT A DISTANCE

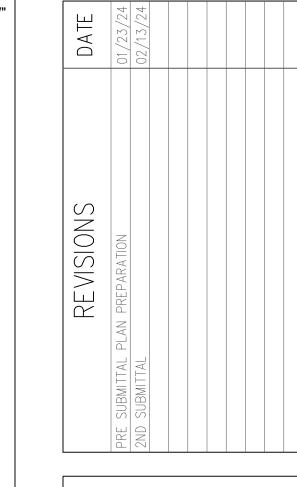
4. BURY A 1/2" × 4' STEEL TEE FENCE POST AT END OF SERVICE LATERAL STUB AND

FITTING, M.J., LINED FOR SANITARY SEWER, SHALL BE INSTALLED FOR SERVICES

5. CLASS 51, 4" DUCTILE IRON PIPE, LINED FOR SANITARY SEWER AND 4" DUCTILE IRON







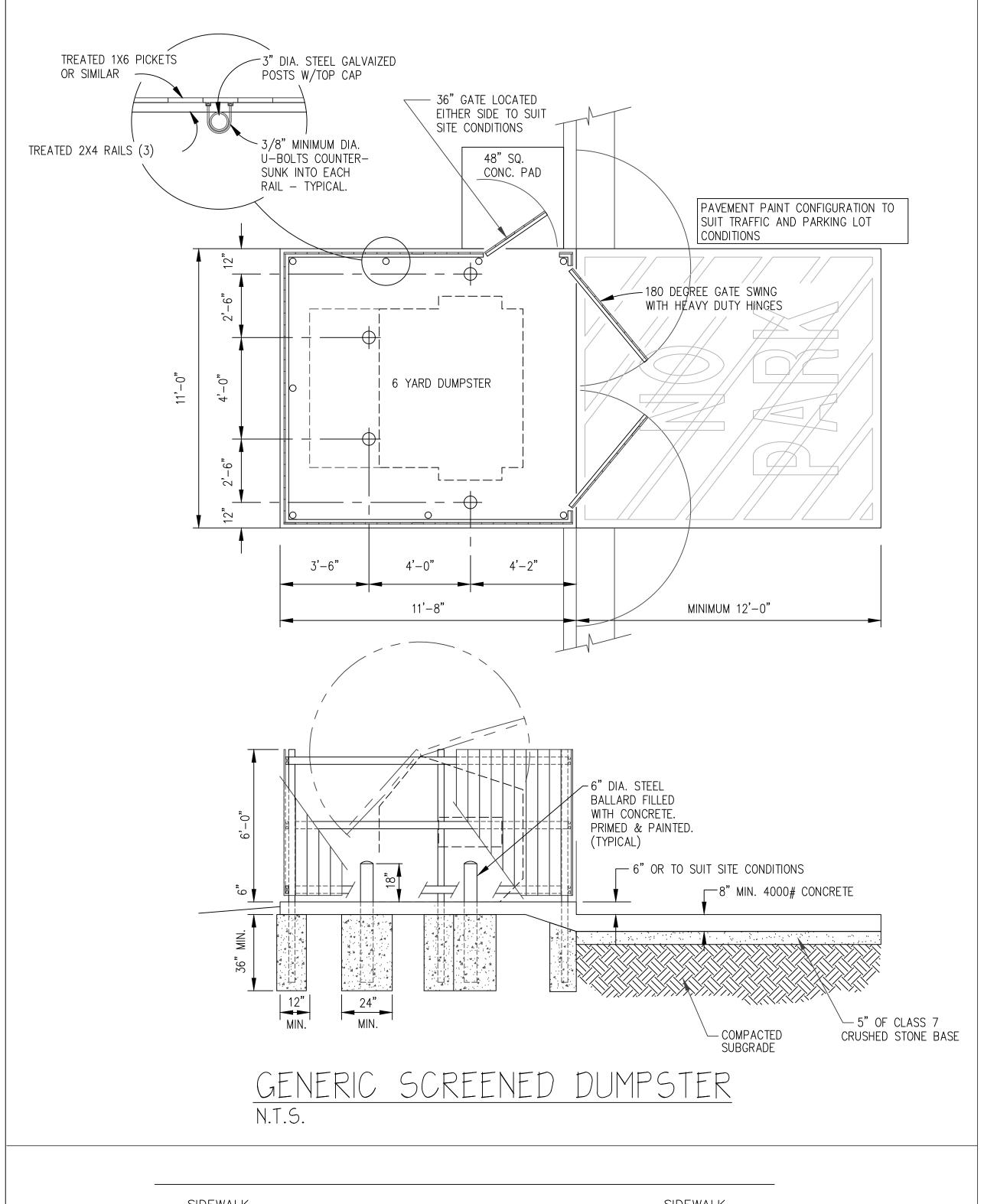
LOPMEN ZIdDOMINO \exists AR

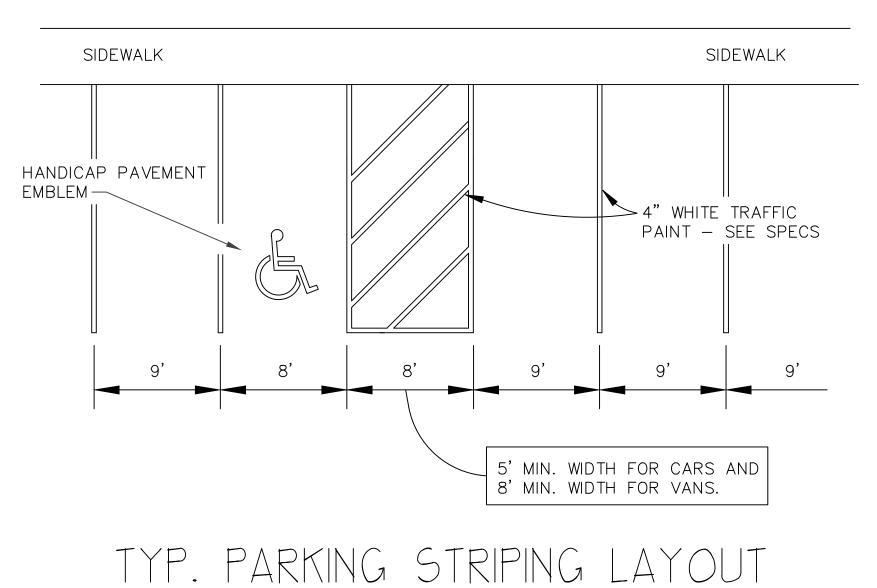
O



DRAWING NO.

gi





1. CONCRETE FOR CURB AND GUTTER TO BE CLASS A, 3500 PSI, 5.5 BAG MIX WITH 4-7%

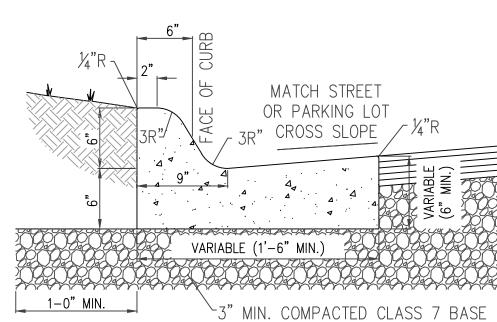
2. ALL CURB AND GUTTER SHALL HAVE A BROOMED FINISH UNLESS OTHERWISE SPECIFIED. 3. MODIFIED CURB SHALL BE PLACED ACROSS ALL DRIVEWAY ENTRANCES.

4. CURB AND GUTTER MUST HAVE CONTRACTION JOINTS SAWED EVERY 15 FEET ON CENTER, ALONG PROPOSED CURB, AND SHALL BE SAWED TO A DEPTH OF 1-1/2" WITH A WIDTH OF 1-4". MATERIAL USED TO SEAL JOINTS SHALL BE AS SPECIFIED IN SECTION 501 AHTD STANDARD SPECIFICATIONS OR AS APPROVED BY THE ENGINEER. (OMNISEAL 50 OR EQUAL)

5. PROVIDE 1/2" PREFORMED EXPANSION JOINT MATERIAL (ASPHALT IMPREGNATED FIBERBOARD OR OTHER APPROVED MATERIAL) AT 200 FOOT INTERVALS, AND AT ALL STATIONARY STRUCTURES, (DROP INLETS, END OF CURBS, DRIVEWAYS, ETC.) OR AS DIRECTED BY ENGINEER. JOINT MATERIAL SHALL HAVE A THICKNESS OF 1/2" INCH AND CONFORM TO AASHTO M 213 STANDARDS.

6. ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH AHTD. IN THE CASE OF CONFLICTS, AHTD'S CRITERIA SHALL GOVERN. REFER TO AHTD STANDARD ROADWAY DRAWING DETAIL CG-1 FOR DIMENSIONS NOT SHOWN.

7.2-#6 X 24" SMOOTH DOWEL BARS SHALL BE PLACED ACROSS ALL EXPANSION AND CONTRACTION JOINTS OR WHERE NEW CURB IS ATTACHED TO EXISTING CURB. 8. ALL CURB AND GUTTER SHALL BE CURED WITH A CURING COMPOUND OR WITH WET BURLAP. AFTER CURB AND GUTTER IS HAS SET, THE AREA BEHIND THE CURB SHALL BE PARTIALLY BACKFILLED BEFORE THE BASE MATERIAL IS PLACED AND COMPACTED.



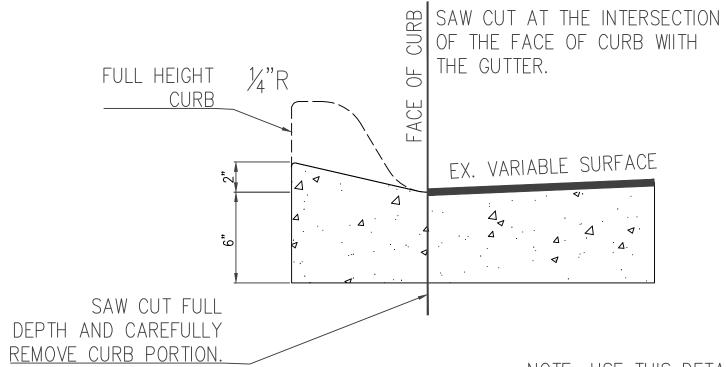
UNDER CURB (95% MODIFIED)

CONRETE CURB & GUTTER

MATCH STREET OR PARKING LOT VARIABLE (1'-6" MIN.) ~3" MIN. COMPACTED CLASS 7 BASE UNDER CURB (95% MODIFIED)

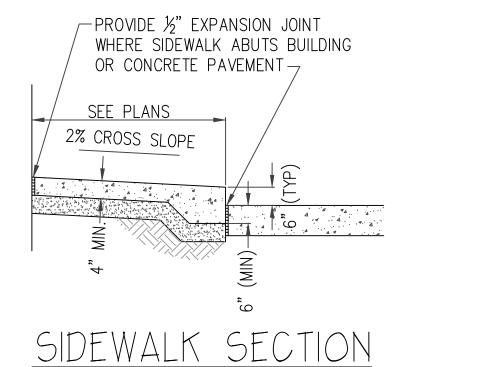
MODIFIED CURB & GUTTER

CURB AND GUTTER DETAILS

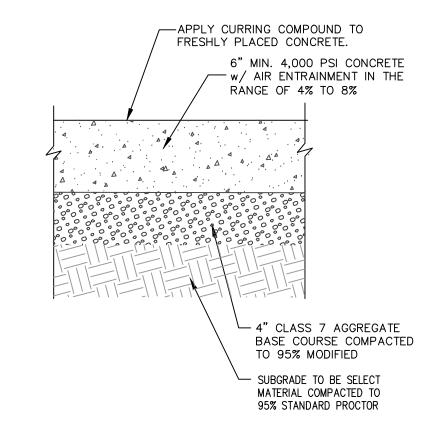


NOTE: USE THIS DETAIL FOR MODIFIED CURBS IN CONJUNCTION WITH AHTD STANDARD DRAWING DR-1.

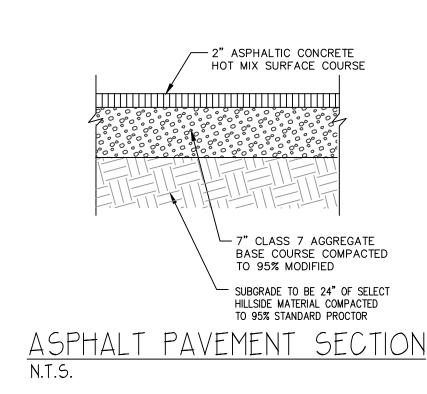
DETAIL OF CURB REPLACEMENT FOR NEW DRIVEWAY CONSTRUCTION IN AHTD R.O.W.

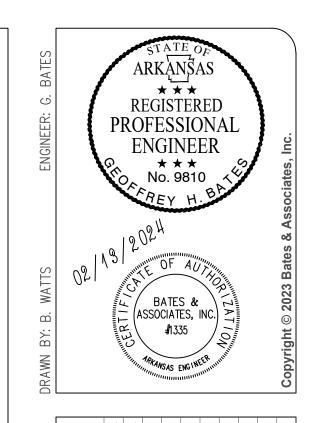


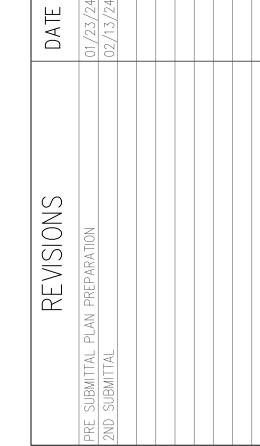
ABUTTING BUILDING/PAVEMENT



CONCRETE PAVEMENT SECTION







LOPMEN DOMINO'S ARMINGTON LARGE



